



Specific Plan Final

San Benito County, California



November 6, 2009

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SANTANA RANCH SPECIFIC PLAN

San Benito County, California

FINAL

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SANTANA RANCH SPECIFIC PLAN

PREPARED FOR:

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ON BEHALF OF:

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SANTANA RANCH SPECIFIC PLAN

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ARTICLE 1. INTRODUCTION

The Santana Ranch Specific Plan is a plan for the orderly development of approximately 292 acres in unincorporated San Benito County adjacent to the eastern edge of the City of Hollister urbanized area (see Figure 1-1 Community Location) for Plan Area. The applicants for the Specific Plan are the Property Owners of the Plan Area (see Figure 1-2 Sub-Areas Defined by Ownership). The applicants shall be collectively referred to herein as the “Property Owners.”

The Plan Area has been designated by the San Benito County Board of Supervisors and in the County’s General Plan as a “Special Study Area” (with an anticipated density of approximately 4 dwelling units per acre), which is an area where growth is encouraged to occur upon completion and adoption of a “Specific Plan” pursuant to California Government Code Section 65450.

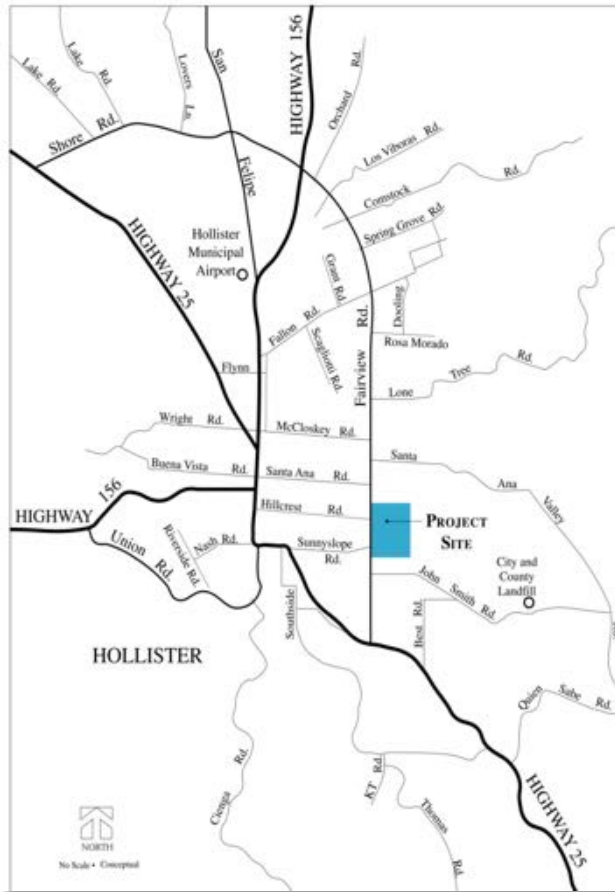
The Specific Plan addresses the development of the Santana Ranch Project (Project), which is comprised of residential, Neighborhood Commercial, school, and park and recreational uses in the Plan Area. Specifically, the Project includes a maximum of 1,092 residential dwelling units (anticipated to be approximately 774 R1-SR and 318 RM-SR units), approximately 65,000 square feet of Neighborhood Commercial uses on approximately 6 acres, additional Commercial uses within the Residential Multiple (RM-SR) uses, an approximate 8 acre elementary school for 700 students, and 18.2 acres of formal Community and Neighborhood Parks as well as additional park and recreational facilities.

1.1. Specific Plan Content and Purpose

The purpose of a Specific Plan is to establish a detailed framework for development of a specific planning area. The California Government Code Section 65451 mandates that a Specific Plan include, at minimum, the following information:

- A Land Use Plan showing the distribution, location and extent of all land uses, including open space, within the area covered by the plan (Article 2);
- A circulation and infrastructure plan indicating the distribution, location, and extent and intensity of the major components of public and private transportation (Article 4), sewage, water, drainage, solid waste disposal, energy, and any other essential facilities to be located in the plan area and needed to support the proposed land uses (Article 6);
- Development standards and criteria for all land uses (Articles 2 and 7), as well as standards for the conservation, development and utilization of natural resources (Article 5); and
- Implementation programs, including regulations, development programs, public works projects, and financing mechanisms for effectuating the land use, circulation, and infrastructure plans and the

FIGURE 1-1 COMMUNITY LOCATION



development standards and criteria (Articles 2 and 8).

The Santana Ranch Specific Plan (Specific Plan) provides the comprehensive vision for development of the Santana Ranch Project (Project). The Specific Plan is intended to generally work in concert with the existing regulatory structure of the County, except as may be amended and supplemented herein.

Development of the Project shall be governed in accordance with the provisions of this Specific Plan and applicable local, state and federal laws.

As explained more fully in Articles 2 and 7, this Specific Plan establishes the permitted, conditionally permitted, and non-permitted uses; and the physical development standards and design guidelines for the Project. Upon approval of the Project and adoption of this Specific Plan, the Plan Area shall be designated under the General Plan as and rezoned to “Santana Ranch Specific Plan (SR-SP),” which shall govern development of the Project. To the extent any standard or other provision in this Specific Plan conflicts with the County Code, including the County’s Zoning Ordinance, the standard or other zoning provision set forth herein shall control.

Article 2, Figure 2-1 reflects the Land Use Map for the Plan Area, and sets forth the applicable land use designations for the Plan Area. Figure 2-1 also shall serve as the basis for subsequent discretionary approvals, including, without limitation, “Large Lot” and “Small Lot” Tentative Maps, which shall define future subdivision areas that will be developed in accordance with this Specific Plan. It is anticipated that the Property Owners will serve as master developers for the Project and may ultimately sell all or a portion of the Project to other developers to construct. For ease of reference, the Property Owners and future developers shall be collectively referred to herein as the “Developers.”

As explained more fully in Articles 2 and 7, the Specific Plan conceptually describes the Project at full build-out, including the proposed Neighborhood Commercial, school, park and recreational and residential uses. The final design of the Project will be more precisely defined through the subsequent discretionary entitlement process, including Tentative Maps and Design Review. In

accordance with the Specific Plan, Developers will submit Small Lot Tentative Maps to further subdivide the Plan Area into lots. San Benito County will review the subdivision maps in the Tentative Map approval process for substantial conformance with the provisions of this Specific Plan, including, without limitation, the standards and requirements for completion of certain public improvements specified in this Specific Plan.

1.2. Project Setting

Existing Adjacent Land Use

The Plan Area is contiguous to developed residential neighborhoods on the west side of Fairview Road, which forms a common boundary with Hollister and provides direct access to all of the properties in the Plan Area.

The land to the west of Fairview Road is substantially developed in conventional single family residential uses at typical densities of 3 to 4 units per gross acre. This nearby project, which lies adjacent to Fairview Road, shares frontage with the California Department of Forestry (CDF) fire station and the LESSALT Water Treatment Plant. Land to the east is primarily open grassland. To the north and south, the land is a mixture of open pasture and small ranchettes.

Existing On-site Land Use

The Plan Area is undeveloped except for 2 residences, an orchard and various out buildings associated with the agricultural activities.

Community Jobs/Housing Context

The Hollister area has traditionally been an agriculturally based economy and does not yet have a substantial manufacturing or office employment base. The Plan Area will include some Neighborhood Commercial development that will provide employment opportunities for local County residents and residents of the Plan Area.

Plan Area Defined by Ownership

The Plan Area is composed of sub-areas A, B, and C which correspond to ownership (see Figure 1-2 Sub-areas Defined by Ownership). Phasing of the Santana Ranch Project shall be coordinated to ensure a comprehensive and efficient build-out, as

well as to enable the financially feasible sequencing of infrastructure improvements. Additional information regarding the Project’s phasing plan is discussed in Article 8. Phasing sequencing will be further detailed in the first Small Lot Tentative Map (with “buildable” lots). A cost-sharing arrangement for the funding of Project infrastructure will be addressed in a private cost-sharing agreement among the Developers.

In summary, the Project shall be built-out in approximately 4 development phases, with anticipated build-out occurring over a period of approximately 10 years in response to market demands and according to an orderly extension of roadways, infrastructure, and public services and utilities. Development phases shall occur sequentially (Phases I through IV), although they may occur concurrently. Development of each phase shall include all infrastructure, services, facilities and amenities, both public and private, required to serve the uses and structures within that phase, according to Article 8 of this Specific Plan.

FIGURE 1-2 SUB-AREAS DEFINED BY OWNERSHIP



1.3. Project Objectives

The Project, proposed by the Santana Ranch Owners Group (Property Owners), is intended to be a residential community with supporting Neighborhood Commercial uses, Parks and a school. The key objectives of the Project are to:

- Provide a community that is economically sound and fiscally self-sufficient through the use of revenue sources provided in Article 8, Section 8.2.2.
- Provide a community that is environmentally sound and supports community livability and quality of life.
- Provide a balanced approach to land use that accommodates future growth, protects community assets, meets economic objectives, and protects the environment.
- Provide a mix of dwelling unit types that will meet the needs of, and be affordable to, a variety of household sizes, types and income levels.
- Provide a residential community that is visually attractive and distinctive.
- Minimize the volume and speed of traffic through neighborhoods to ensure that the neighborhoods are quiet and safe for residents.
- Provide convenient public services and shopping so that residents may choose to walk or bicycle for short range convenience trips.
- Provide a convenient, attractive pedestrian and bicycling network to encourage and facilitate walking and bicycling.
- Facilitate and enhance the opportunities for home occupations and permanent opportunities within the community that will enable local residents to work near home, contributing to local job growth and reducing worker commuting.
- Enable independent development of each Neighborhood, yet ensure that all infrastructure, facilities, services and amenities needed to serve the Project are constructed in a timely manner.

1.4. Other Regulations and Policies Applicable to the Specific Plan

Following is a discussion of other governing documents regulating development of the Project, including the San Benito County General Plan, the San Benito County Code, the anticipated Mitigation Monitoring and Reporting Program, and the Development Agreement between the County and the Property Owners.

San Benito County General Plan

The existing General Plan Land Use designation for the Plan Area is Rural (R) with a “Special Study Area” designation (anticipated to be approximately 4 dwelling units per acre). General Plan Amendments (GPAs) will be required to implement the Project, including modifying the land use designation for the Project to “Santana Ranch-Specific Plan (SR-SP),” a new category in the County General Plan proposed as part of this Project as well as additional conforming amendments. This new designation would allow development of the Project as set forth in this Specific Plan.

This Specific Plan serves as a planning guide to implement the San Benito County General Plan. This Specific Plan amends the General Plan and, upon adoption, will ensure consistency between the Project and the General Plan (as required by Government Code sections 65450 through 65457) and will implement the goals and policies of the General Plan.

San Benito Code

The San Benito County Code governs development of the Project, except as those regulations may be amended or supplemented herein.

County Zoning Ordinance

The existing County zoning designation for the Plan Area is Rural (R). A Zoning Map Amendment is required to change the zoning designation of the Plan Area to “Santana Ranch Specific Plan (SR-SP),” a new category in the County Zoning Ordinance proposed as part of this Project. This zoning designation would allow development of the Project as set forth in this Specific Plan.

The County Code also sets forth other regulations

governing development, such as County improvement standards.

Development within the Plan Area shall be governed by the relevant provisions of this Specific Plan and applicable County standards as set forth in

the County Code. In the event and to the extent any standard or other provision in this Specific Plan conflicts with the County Code, including the County’s Zoning Ordinance, the standard or other zoning provision set forth herein shall control.

Environmental Impact Report and Mitigation Monitoring and Reporting Program

Pursuant to the California Environmental Quality Act (CEQA), the County is preparing, and will need to certify, a project-level Environmental Impact Report (EIR) for the Project. The EIR will describe the existing environmental conditions within the Plan Area, will analyze potential environmental impacts of the Project, and will identify feasible mitigation measures as appropriate to reduce significant impacts. The EIR will examine the whole project in accordance with CEQA, and is intended, to the extent permitted under the law, to provide CEQA clearance for all subsequent discretionary approvals needed to develop the Project.

Mitigation measures identified in the EIR and as set forth in the Mitigation Monitoring and Reporting Program (MMRP) shall be imposed on subsequent discretionary approvals as conditions on the development of the Project.

Development Agreement

The Property Owners seek to enter into a Development Agreement (DA) with San Benito County in connection with the Project. This DA will vest entitlement approvals and will set forth the Property Owners obligations with respect to Project development. Upon approval, development of the Project shall be governed by the provisions of the DA in addition to those set forth in the Specific Plan.

1.5. Specific Plan Adoption Process and Obligations

Planning Commission Amendments to the Specific Plan Prior to Adoption

The Planning Commission may include additions, amendments and deletions to the Specific Plan in its recommendation to the Board of Supervisors regarding adoption of the Specific Plan.

Allocation of Development Entitlements to Specific Neighborhoods

No more than a total of 1,092 dwelling units may be developed in the Plan Area. Article 2, Figure 2-1 shows the location of the Project's planned Neighborhoods A through L (Neighborhood), each of which is assigned a specific land use designation and maximum number of dwelling units. While units may be transferred between Neighborhoods under the specific circumstances established in Article 2 of this Specific Plan, the total number of residential units built in the Plan Area shall not be increased unless the Specific Plan is amended in accordance with applicable law.

Allocation of Development Obligations to Specific Neighborhoods

Development of a specific Neighborhood or a non-residential portion of the Plan Area may not proceed until and unless the Developer has demonstrated that it has satisfied the obligations required for that Neighborhood, as stated in Article 8 of this Specific Plan, including all needed infrastructure, facilities, services and amenities, as well as demonstrating compliance with the Project's affordable housing obligations.

Obligations to Construct Project Improvements

As set forth above, development of each Neighborhood (as identified on Figure 2-1 and Table 2-1 of Article 2) and the other non-residential portions of the Plan Area shall include all infrastructure, services, facilities and amenities, both public and private, required to serve the uses and structures within that Neighborhood or other area, according to the phasing set forth within Articles 6 and 8 of this Specific Plan.

Specific Property Owner/Developer obligations with respect to Project improvements are described more fully herein, including Article 8. In addition, such obligations shall be further defined in the DA and the conditions of approval that are imposed in connection with subsequent discretionary approvals. Also, an internal cost sharing agreement among the Developers will further assure that the cost and timing of key backbone infrastructure is funded and constructed in a way that will allow for a comprehensive, efficient, and financially feasible Project.

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ARTICLE 2. LAND USE AND DEVELOPMENT STANDARDS

Article 2 sets forth the permitted, conditionally permitted, and non-permitted uses for each land use designation identified in this Specific Plan. In addition, Article 2 sets forth the applicable development standards required for each land use designation.

In summary, as described in Table 2-1 and shown on Figure 2-1, the land uses provided for in this Specific Plan are as follows: (1) Single Family Residential (R1-SR); (2) Residential Multiple (RM-SR); (3) Neighborhood Commercial (C2-SR) and (4) Parks (P-SR).

2.1. Land Use Objectives

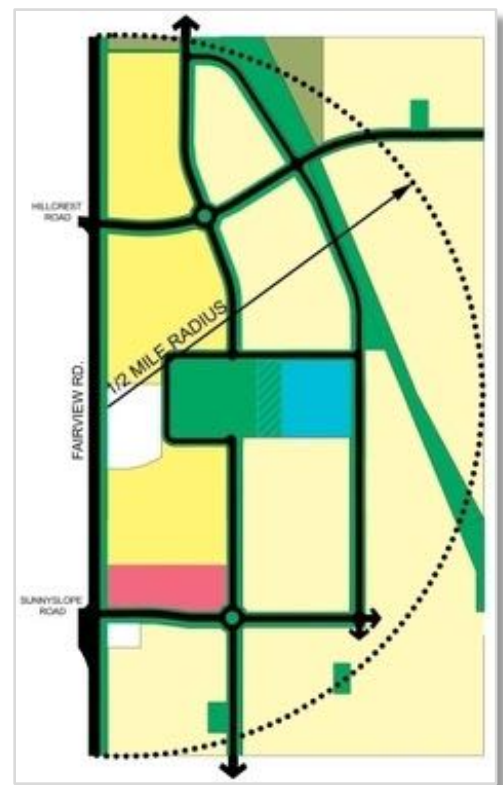
- Provide shopping, recreation and services such that residents may not need to travel outside the Plan Area for many routine daily needs.
- Minimize the need for vehicular traffic to travel through the residential areas to reach the higher intensity uses (school, Neighborhood Commercial and higher density housing).
- Enhance the opportunities for residents to walk or bicycle within the Plan Area by locating the major destinations (school, Community Park and Neighborhood Commercial) together near the center of the Plan Area.
- The Neighborhood Commercial uses and Community Park should function as a public common area for the Plan Area.
- Neighborhood Parks should be dispersed throughout the Plan Area and provide a focal point and activity center for clusters of residential units.
- Provide a mix of dwelling unit types to ensure that a variety of housing opportunities will be available in each phase of the plan development.
- Provide flexibility in land use allocations to allow for site constraints and variations in housing styles.

2.2. Land Use Concept

The basic land use organization of the Santana Ranch Project clusters a Community Park, elementary school, higher density housing and a Neighborhood Commercial center to form the core of the Plan Area. The Neighborhood Commercial center will be located along Fairview Road to allow access from outside the Plan Area and to minimize the traffic flow into the residential Neighborhoods. This core area serves as a center for the Plan Area, and a transition between the interior residential subdivisions and the traffic along Fairview Road.

The Neighborhood Commercial center will provide a focal point for the Plan Area and offer an alternative shopping area closer than the new development on the east side of Hollister.

Residential Neighborhoods around the core provide a mix of residential densities that will facilitate development of different housing types and purchase prices throughout the Plan Area.



The Neighborhoods generally diminish in density and the individual home sites grow larger to the east side of the Plan Area. Smaller home sites and the Residential Multiple (RM-SR) uses are located closest to Fairview Road where the street system can accommodate a greater number of dwelling units. The density is lowest in the Single Family Residential (R1-SR) areas along the eastern boundary. The Neighborhoods designated RM-SR are located along Fairview Road and around the core of the Plan Area, allowing for a transition from Fairview Road to the R1-SR districts. The RM-SR Neighborhoods and several of the R1-SR Neighborhoods are also located close to anticipated transit stops.

The compact, rectangular shape of the Plan Area will facilitate development of a pedestrian and bike trail network extending from the residential areas to the Neighborhood Commercial center.



Employment Development

Commuting to distant jobs can be minimized by providing more job opportunities within the urban portion of the County. The uses established within the Santana Ranch Project will expand the employment base for conventional, non-agricultural employment within the Plan Area and at the major industrial and business park locations within the vicinity of the Plan Area.

The Santana Ranch Project is primarily a residential community, and thus, cannot significantly affect the County-wide balance of jobs and housing. However, the Project will provide a number of permanent, non-agricultural employment opportunities on site. These jobs may include professional, managerial, sales, technical service and maintenance positions.

Among the professional services may be teaching in the public school and accountants, financial advisors, attorneys, medical professionals and other professionals located in the Neighborhood Commercial center. These areas may also provide employment in technical services, managerial, and sales positions. The parks and landscape corridors, which will require consistent upkeep, are anticipated to provide permanent maintenance positions throughout the Plan Area.

The Project is designed to accommodate the increasing trend for workers to telecommute for at least a portion of their work week. The Project supports telecommuting in two ways. First, all homes shall be constructed with technologies that facilitate home offices if desired. Second, the Project will encourage second-story office space within the Neighborhood Commercial center to accommodate small businesses and satellite offices.

2.3. Land Use Summary

Adjustment to Boundaries of Neighborhoods

Figure 2-1 reflects the land use plan for the Project, which organizes the Plan Area into distinct Neighborhoods for purposes of the residential development (Neighborhoods). The acreage and land use designation of each Neighborhood is set forth in Figure 2-1. The boundaries of each Neighborhood may be modified by the Planning Director as a result of acreage transfers to accommodate adjustments that may occur as more detailed plans are developed during the Tentative and Final Subdivision Map review and approval process. The Planning Director shall approve any acreage adjustment requested so long as the Developer demonstrates the following:

1. The requested adjustment will not result in an exceedance of the maximum number of units permitted to be developed in the Plan Area (1,092);
2. The requested adjustment will not result in new significant, unmitigated environmental impacts or a significant increase in previously identified impacts;
3. The Developer will provide all needed infrastructure, facilities, services and amenities and will otherwise satisfy all obligations in connection with development of that

Neighborhood, as required under the Specific Plan; and

4. The adjustment will not adversely affect the provision of needed infrastructure, facilities, services and amenities to serve other portions of the Plan Area.

Adjustments to Acreage or Location of Non-Residential Uses

Figure 2-1 also reflects the anticipated acreage and location of the non-residential uses to be constructed as part of the Project, including Neighborhood Commercial uses, Parks, school, school site recreational area, detention basins and streets. The ultimate acreage and location of each of these areas may be modified by the Planning Director to accommodate adjustments that may occur as more detailed plans are developed during the Tentative and Final Subdivision Map review and approval process. The Planning Director shall approve a request to modify the acreage or location of any non-residential use so long as the Developer demonstrates the following:

1. The requested adjustment will not result in an exceedance of the projected amount of trip generation for the Neighborhood Commercial uses studied in the Project EIR. Or, in the alternative, if any proposed Commercial uses would result in trip generation rates above those projected in the Project EIR, then additional traffic analysis shall be conducted to identify any new significant impacts or any significant

increase in previously identified impacts, and to recommend feasible mitigation measures, which the Developer shall commit to fulfill to the satisfaction of the Planning Director and in accordance with CEQA.

2. The requested adjustment will not result in a reduction of total acreage of formal parks and open space uses (18.2 acres, including an approximately 5.8 acre Community Park) and school uses (approximately 8 acres) required under this Specific Plan;
3. The requested adjustment will not result in new significant, unmitigated environmental impacts or a significant increase in previously identified impacts;
4. The Developer will provide all needed infrastructure, facilities, services and amenities and will otherwise satisfy all obligations in connection with development of that non-residential use, as required under this Specific Plan; and
5. The adjustment will not adversely affect the provision of needed infrastructure, facilities, services and amenities to serve other portions of the Plan Area.

Any adjustment approved in accordance with this Section 2.3. shall not require an amendment to the Specific Plan.

TABLE 2-1

SANTANA RANCH LAND USE BREAKDOWN

Land Use	Acres	Percent of Plan Area	Percent of Units	Total Units
R1-SR - Single Family Residential (1-6 du/ac)	197.5	67.6%	71%	774
RM-SR - Residential Multiple (5-20 du/ac)	52.3	17.9%	29%	318
School ⁽¹⁾	8.0	2.7%	0%	0
C2-SR - Neighborhood Commercial	5.8	2.0%		
P-SR - Parks	18.2	6.2%		
Detention Basin	4.9	1.7%		
Fairview Road Right-of-way ⁽²⁾	5.5	1.9%	<i>To be determined</i>	
TOTAL	292.2	100.0%		1,092

(1) K-8 Elementary school is permitted within the R1-SR neighborhoods.

(2) Estimated Right-of-way required for Fairview Road widening. Internal collector street right-of-way is included in the gross acreage of the adjacent land uses.

FIGURE 2-1 LAND USE MAP



Note: Locations of neighborhood parks are conceptual and may vary. Actual locations will be determined at neighborhood tentative map stage.

2.4. Residential Land Uses

A maximum of 1,092 dwelling units shall be permitted in the Plan Area. The Plan Area shall include a mix of housing types and densities including single family detached residential units, clustered and attached dwellings. Conventional single family detached homes (Single Family Residential (R1-SR) use category) are anticipated to comprise approximately 71 percent of the total dwelling units. Other types of units including single family attached units and multi-family units (Residential Multiple (RM-SR) land use category) are anticipated to comprise approximately 29 percent of the total dwelling units. However, this unit mix is an estimate only; the ultimate unit mix and types of dwellings will be determined at the Tentative Map stage.

The overall maximum density of residential land use is 4 dwelling units per gross acre. Based upon 3.25 persons per dwelling unit (per County standards), it is estimated that 3,549 people may live within the Project at full development.

Allocation of Dwellings to Each Neighborhood and Transfers of Units between Neighborhoods

Figure 2-1 shows the maximum number of dwelling units for each Neighborhood. Second dwelling units are permitted with single family detached units as outlined in R1-SR residential district development standards and do not affect dwelling unit allocation.

Residential unit transfers between any two Neighborhoods may be permitted by the Planning Director in accordance with this Section 2.4. Residential unit transfer shall mean the redistribution of units from one Neighborhood to another. The Planning Director shall approve a change in the number of allocated dwelling units for a Neighborhood upon a determination that the transfer meets all of the following conditions:

- The total number of approved residential units and the total number of projected residential units, when combined, shall not exceed the allowed maximum of 1,092 dwelling units;
- The resulting number of transfer units into any R1-SR Neighborhood will not cause the base dwelling unit count of the receiving Neighborhood to be exceeded by 20 percent.

The resulting number of transfer units out of any R1-SR Neighborhood will not cause the base dwelling unit count of the transferring Neighborhood to be decreased by 20 percent.

- The resulting number of transfer units into any RM-SR Neighborhood will not result in an exceedance of the maximum density for RM-SR Neighborhoods. The resulting number of transfer units out of any RM-SR Neighborhood will not result in the transferring Neighborhood's density falling below the minimum density for RM-SR Neighborhoods.
- The transfer will not result in an exceedance in the permitted residential density in the receiving Neighborhood;
- The transfer will not affect the ability of the transferring and receiving Neighborhoods to comply with all development standards and requirements of the applicable land use designations;
- The transfer will not result in new significant, unmitigated environmental impacts or a significant increase in previously identified impacts; and
- The transfer will not adversely impact the ability to provide the planned infrastructure, facilities, services and amenities required to serve the Project.

These transfers in the dwelling units are allowed in order to allow for flexibility of subdivision design and to adapt the most appropriate dwelling unit type and respond to the demands of the housing market. Any transfer approved in accordance with this Section 2.4. shall not require an amendment to the Specific Plan.

2.4.1. Single Family Residential (R1-SR)

It is anticipated that low density residential single family detached homes, as permitted in the Single Family Residential (R1-SR) land use category, will account for up to a total of 774 units, approximately seventy-one percent (71 percent) of all dwelling units in the Project.

The following is a table of the permitted, conditionally permitted, and non-permitted uses within the Single Family Residential (R1-SR) land use designation (1.0 to 6.0 dwelling units per gross acre), which shall be located in the Plan Area as shown on Figure 2-1 except as may be adjusted pursuant to Section 2.3. and 2.4. (see Table 2-1 Santana Ranch Land Use Breakdown).



TABLE 2-2 SINGLE FAMILY RESIDENTIAL (R1-SR) LAND USE TABLE

R1 – SR	Permitted	Conditionally Permitted	Non-Permitted
Accessory Buildings ⁽¹⁾	P		
Assessory Second Dwelling Unit ⁽⁷⁾	P		
Accessory Structures ⁽²⁾		CP	
Agriculture			NP
Bed/Breakfast Establishment (up to 15 Rooms)			NP
Boarding or Rooming House			NP
Church or Religious Institution		CP	
Commercial Uses as Designated in the C2-SR Land Use Category of any kind			NP
Community or Private Garden	P		
Family Day Care Home ⁽³⁾		CP	
Garden, Horticulture, Orchard where no Main Building is Involved	P		
Golf Course or Country Club			NP
Guesthouse ⁽⁴⁾	P		
Home Occupation ⁽⁵⁾	P		
Industrial Uses of any kind			NP
Live/Work Units ⁽⁹⁾			NP
Neighborhood Park as Defined by this Specific Plan	P		
Public Service Facilities		CP	
Residential - Alley Loaded ⁽¹⁰⁾	P		
Residential - Apartments			NP
Residential - Condominiums			NP
Residential - Duplexes			NP
Residential - Single Family Detached (5,000 square feet Minimum Lot)	P		
Residential - Attached			NP
Residential Care Homes (up to 6 Residents) ⁽⁶⁾		CP	
Residential Care Homes (6 or more Residents) ⁽⁶⁾		CP	
School – K-8 Elementary	P		
Subdivision Sales Office	P		
Temporary Uses ⁽⁸⁾		CP	

Footnotes:

- (1) Accessory Buildings as defined by San Benito County Code, title 25 (Zoning Ordinance), Section 25.03.002.
- (2) Accessory Structures as defined by San Benito County Code, title 25 (Zoning Ordinance), Section 25.03.002.
- (3) Family Day Care Home, as defined by San Benito County Code, title 25 (Zoning Ordinance), Section 25.03.002.
- (4) Guesthouse as defined by San Benito County Code, title 25 (Zoning Ordinance). Section 25.03.002.
- (5) Home Occupations as defined by San Benito County Code, title 25 (Zoning Ordinance) Section 25.29.090. Permitted only if the regulations set forth in Sections 25.29.093 and 25.29.094, are met.
- (6) Residential Care Homes include, but are not limited to, professional nursing care facilities, memory care facilities, and assisted care facilities.
- (7) Accessory Second Dwelling Unit as defined by San Benito County Code, title 25 (Zoning Ordinance), Section 25.27.002. Permitted only if the regulations set forth in Section 25.27.002 are met.
- (8) Temporary Uses as defined by San Benito County Code, title 25 (Zoning Ordinance) Sections 25.25.003 (temporary mobile homes) and 25.29.015 (other temporary uses designated, including without limitation, neighborhood bazaars, booths for charitable, welfare, civic or patriotic purposes, flea market operated for a non-profit organization, temporary business uses, and special events).
- (9) A live/work unit is defined by a single unit (e.g., studio, loft or one bedroom) consisting of both a commercial/office and a residential component that is occupied by the same resident. The live/work unit shall be the primary dwelling of the occupant.
- (10) Residential Alley Loaded, is defined by the location of the garage. The orientation of the garage should face an alley, and the entry to the unit is facing a walkway or a public street and can either be a single family attached or detached unit.

Site Development Standards (R1-SR)

Development of Single Family Residential (R1-SR) shall be regulated by the standards set forth below:

TABLE 2-3 SINGLE FAMILY RESIDENTIAL (R1-SR) DEVELOPMENT STANDARDS

Lot Area (Minimum)	5,000 square feet
Lot Width Interior (Minimum) ⁽¹⁾	50 feet
Lot Width Corner (Minimum) ⁽¹⁾⁽⁵⁾	55 feet
Parking (Minimum.)	2 covered spaces per dwelling
Useable Private Open Space (Minimum) ⁽³⁾	600 square feet
Front Setback	
Living Space to Back of Sidewalk (Minimum) ⁽²⁾	15 feet
Garage Setback	
Face of Garage to Back of Sidewalk (Minimum) ⁽²⁾	18 feet
Side Setback	
Interior (Minimum) ⁽²⁾	5 feet
Corner (Minimum) ⁽²⁾⁽⁵⁾	5 feet
Rear Setback	
Living Space to Back of Sidewalk (Minimum) ⁽²⁾⁽⁶⁾	15 feet
Building Height Limits (Maximum) ⁽⁴⁾	30 feet
Number of Stories (Maximum)	2

Footnotes:

- (1) Flag lots are allowed within the Specific Plan area in cases where conventional lot layouts are not feasible or practical. Cul-de-sac lots shall not have a frontage of less than 30 feet. Flag lots shall not have a frontage of less than 25 feet for each lot.
- (2) Architectural projections (bay windows, television nooks, cantilevers, etc.) that project into the setback will be allowed with approval from San Benito County Building Department.
- (3) 600 square feet is the minimum usable rear-yard open space for a two bedroom dwelling, and an additional 200 square feet for each additional bedroom.
- (4) No building height shall be taller than 30 feet, except for architectural projections permitted per Zoning Ordinance Section 35.
- (5) Fences may be located 5 feet from the property line.
- (6) Additionally, dwellings abutting the east boundary of the Plan Area, and adjacent to residential land uses, shall be no closer than 2 feet to the east property line.

2.4.2. Residential Multiple (RM-SR)

Permitted, Conditionally Permitted, and Non-Permitted Uses (RM-SR)

The Residential Multiple (RM-SR) uses shall allow dwelling units at 5.0 to 20.0 units per gross acre. The RM-SR uses adjacent to the Neighborhood Commercial center are intended to serve at the higher end of the density range for the Project. The RM-SR category is intended to provide opportunities for a variety of dwelling unit types including, without limitation, single family detached and attached homes, paired dwellings, garden townhomes, courthomes, rowhouses, duplexes, and cluster housing.

It is anticipated that Residential Multiple uses, as permitted in the RM-SR land use category, will account for up to a total of 318 units, approximately twenty-nine percent (29 percent) of all dwelling units in the Project (see Table 2-1, Santana Ranch Land Use Breakdown).

The following is a table of the permitted, conditionally permitted, and non-permitted uses within the Residential Multiple (RM-SR) land use category (5.0 to 20.0 dwelling units per gross acre), which shall be located in the Plan Area as shown on Figure 2-1 except as may be adjusted pursuant to Section 2.3. and 2.4.



TABLE 2-4 RESIDENTIAL MULTIPLE (RM-SR) LAND USE TABLE

RM – SR	Permitted	Conditionally Permitted	Non-Permitted
Accessory Buildings ⁽¹⁾	P		
Assessory Second Dwelling Unit ⁽⁵⁾	P		
Accessory Structures ⁽²⁾	P		
Agriculture			NP
Bed/Breakfast Establishment (up to 15 Rooms)		CP	
Boarding or Rooming House			NP
Church or Religious Institution		CP	
Community or Private Garden	P		
Family Day Care Home ⁽⁸⁾		CP	
Garden, Horticulture, Orchard where no Main Building is Involved	P		
Golf Course or Country Club			NP
Guesthouse ⁽³⁾	P		
Home Occupation ⁽⁴⁾	P		
Industrial Uses of any kind			NP
Live/Work Units ⁽⁹⁾	P		
Neighborhood Commercial as Defined by this Specific Plan ⁽⁷⁾ Refer to the following for Neighborhood Commercial Uses Permitted in RM-SR ⁽¹³⁾			
Art or Antique Shop	P		
Bakery	P		
Bank	P		
Barber, Hair Dresser, Beauty Shop and Similar Uses	P		
Book or Stationary Store	P		
Café or Delicatessen, Including Outdoor Seating	P		
Clothes Cleaning Agency or Pressing Establishment	P		
Confectionary Store	P		
Custom Dress Making or Tailor Shops (No Factories)	P		
Day Care Centers	P		
Drive-in and Drive-Through Eating and Drinking Establishments	P		
Drug Store	P		

TABLE 2-4 (CONTINUED)

Dry Cleaning Establishment, Using Non-flammable and Non-Explosive Materials	P		
Dry Goods or Notions Store	P		
Financial Institutions	P		
Flower Shop, Florist, Gift Shop or Boutiques	P		
Garden Center, Plant Nursery, including Sales of Garden Hardware – Small Indoor/Outdoor (up to 5,000 square feet)	P		
Grocery, Fruit or Vegetable Store	P		
Hardware or Electric Appliance Store	P		
Hobby Shop, Book Store, Bicycle Shop	P		
Ice Cream or Frozen Yogurt Shop	P		
Jewelry Shop	P		
Laundry, Laundry Agency or Launderette	P		
Locksmiths	P		
Meat Market or Delicatessen Store	P		
Medical Clinics ⁽¹¹⁾	P		
Neighborhood Grocery, Video Rental	P		
News and Magazine Stands	P		
Office, Business or Professional	P		
Outdoor Barbeque when Attached to Permitted Restaurant Use	P		
Outdoor Dining when Attached to Permitted Restaurant Use	P		
Pet Clinics	P		
Photography/Artist Studio	P		
Produce Market	P		
Professional Nursing Care Facilities, Memory Care Facilities, and Assisted Care Facilities.	P		
Radio or Television Store	P		

TABLE 2-4 (CONTINUED)

Restaurant and Public Eating Establishments ⁽¹²⁾	P		
Small Business Work Centers	P		
Shoe Store or Shoe Repair Shop	P		
Souvenir or Curio Shops	P		
Wine Bar	P		
Other Uses Similar to the Above as may be Determined by the Planning Director	P		
Neighborhood Park as Defined by this Specific Plan	P		
Public Service Facilities		CP	
Residential - Alley Loaded ⁽¹⁰⁾	P		
Residential - Apartments	P		
Residential – Cluster Housing	P		
Residential - Condominiums	P		
Residential - Courthomes	P		
Residential - Duplexes	P		
Residential – Garden Townhomes	P		
Residential – Paired Dwellings	P		
Residential - Rowhouses	P		
Residential - Single Family Detached or Attached	P		
Residential - Townhouses	P		
Residential Care Homes (up to 6 residents)	P		
Residential Care Homes (6 or more residents)		CP	
School – K-8 Elementary			NP
Subdivision Sales Office	P		
Temporary Uses ⁽⁶⁾		CP	

Footnotes:

- (1) Accessory Buildings as defined by San Benito County Code, title 25 (Zoning Ordinance), Section 25.03.002.
- (2) Accessory Structures as defined by San Benito County Code, title 25 (Zoning Ordinance), Section 25.03.002.
- (3) Guesthouse as defined by San Benito County Code, title 25 (Zoning Ordinance), Section 25.03.002.
- (4) Home Occupations as defined by San Benito County Code, title 25 (Zoning Ordinance), Section 25.29.090. Permitted only if regulations set forth in Sections 25.29.093 and 25.29.094 are met.
- (5) Accessory Second Dwelling Unit as defined by San Benito County Code, title 25 (Zoning Ordinance), Section 25.27.002. Permitted only if the regulations set forth in Section 25.27.002 are met.
- (6) Temporary Uses as defined by San Benito County Code, title 25 (Zoning Ordinance), Sections 25.25.003 (temporary mobile homes) and 25.29.015 (other temporary uses designated, including without limitation, neighborhood bazaars, booths for charitable, welfare, civic or patriotic purposes, flea market operated for a non-profit organization, temporary business uses, and special events).
- (7) See Article 7 of this Specific Plan for “Mixed-Use” definition.
- (8) Family Day Care Home, as defined by San Benito County Code, Title 25 (Zoning Ordinance), section 25.03.002.
- (9) A live/work unit is defined by a single unit (e.g., studio, loft or one bedroom) consisting of both a commercial/office and a residential component that is occupied by the same resident. The live/work unit shall be the primary dwelling of the occupant.

- (10) Residential Alley Loaded, is defined by the location of the garage. The orientation of the garage should face an alley, and the entry to the unit is facing a walkway or a public street and can either be a single family attached or detached unit.
- (11) Medical clinics include, but are not limited to, outpatient surgical facilities.
- (12) Restaurants include microbreweries, brewpubs and bars/lounges that serve meals.
- (13) Up to 33 percent of the gross RM-SR land use area may be utilized for Neighborhood Commercial.

Site Development Standards (RM-SR)

The development of Residential Multiple (RM-SR) areas allows for a wide density range and a variety of product types in order to achieve community diversity. These RM-SR areas will also provide for a mix of uses such as Commercial, residential and private amenities, with the final mix of uses and product types determined by market demand and timing of development, as approved during the Tentative Map process.

Due to the diversity of product types allowed in the RM-SR land use category, specific development standards shall be established for individual development areas through the Design Review process. However, this Specific Plan provides “Design Guidelines” for each product type (see Article 7). The residential product types allowed within the RM-SR areas include, but are not limited to: single family detached and attached homes; paired dwellings; garden townhomes; courthomes; rowhouses; duplexes; and cluster housing.

TABLE 2-5 RESIDENTIAL MULTIPLE (RM-SR) DEVELOPMENT STANDARDS

The following RM-SR development standards include:

Lot/Site Area (Minimum)	The lot/site area in Residential Multiple (RM-SR) district shall be determined by the Planning Director on a case by case basis and shall be sufficient to provide for required yards, landscaping and parking.
Building to ROW/Perimeter Property Line (Minimum)	10 feet
Parking to ROW/Perimeter Property Line (Minimum)	5 feet
Drive Aisle to ROW/Perimeter Property Line (Minimum)	5 feet
Interior Lot Setbacks	3 feet ⁽¹⁾
Building Height Limits (Maximum)	45 feet
Number of Stories (Maximum)	3

Note:

See Article 7 of this Specific Plan for RM-SR Design Guidelines.

Footnote:

(1) May be reduced to zero depending upon product type. Any setbacks less than 3 feet must meet fire code requirements.

2.5. Neighborhood Commercial (C2-SR)

Permitted, Conditionally Permitted, and Non-Permitted Uses (C2-SR)

It is anticipated that Neighborhood Commercial uses, as permitted in the Neighborhood Commercial (C2-SR) land use category, will account for approximately 6 acres of the Plan Area. This designation is intended to permit neighborhood serving retail, service and office related uses.

The Neighborhood Commercial center is located along the primary pedestrian circulation route. The center shall provide secure bicycle parking to encourage residents to ride bicycles to the shopping and recreation facilities and a park and ride facility. A public transit stop is planned on Fairview Road next to the center.

Following is a table of the permitted, conditionally permitted, and non-permitted uses within the Neighborhood Commercial (C2-SR) land use category, which shall be located in the Plan Area as shown on Figure 2-1 except as may be adjusted pursuant to Section 2.3. and 2.4. above.

All Commercial development within the C2-SR land use category is subject to Design Review. Uses identified as “permitted” in table 2-6 are subject to the County Planning Director approval. Uses identified as “conditional” are subject to Planning Commission approval (see Article 8, section 8.1.6.).



TABLE 2-6 NEIGHBORHOOD COMMERCIAL (C2-SR) LAND USE TABLE

C2-SR	Permitted	Conditionally Permitted	Non-Permitted
Adult Entertainment, Sales, and other Associated Uses			NP
Ambulance Service except as Provided by a Public Agency			NP
Art or Antique Shop	P		
Auto and Truck Rental Agency			NP
Auto and Truck Sales with Accessory Repairs and Services			NP
Auto Sales, Outdoor (New and Used Cars in Operable Condition Only)			NP
Auto Storage, Outdoor (New and Used Cars in Operable Condition Only)			NP
Automobile Service Station	P		
Bakery	P		
Bank	P		
Barber, Hair Dresser, Beauty Shop and Similar Uses	P		
Bars and Night Clubs			NP
Boat Sales			NP
Book or Stationary Store	P		
Building Material and Lumber Sales			NP
Bus Depot (except a Multi-Modal Station that Serves a Local Bus Route, Park-and-Ride or other Commuter or Local Resident Needs)			NP
Café or Delicatessen, including Outdoor Seating	P		
Catering (not in Association with a Restaurant)	P		
Clothes Cleaning Agency or Pressing Establishment	P		
Commercial Entertainment and Amusement Establishments ⁽⁶⁾		CP	
Confectionary Store	P		
Custom Dress Making or Tailor Shops (No Factories)	P		
Crop and Tree Farming and Truck Gardening			NP
Day Care Centers		CP	
Drive-in and Drive-through Eating and Drinking Establishments		CP	
Drug Store	P		
Dry Cleaning Establishment, Using Non-Flammable and Non-Explosive Materials	P		
Dry Goods or Notions Store	P		
Farm Equipment Sales with Accessory Repairs and Services			NP
Financial Institutions	P		
Freight Depot			NP
Flower Shop, Florist, Gift Shop or Boutiques	P		
Garden Center, Plant Nursery, including Sales of Garden Hardware – Small Indoor/Outdoor (up to 5,000 square feet)	P		

TABLE 2-6 (CONTINUED)

Garden Center, Plant Nursery, including Sales of Garden Hardware – Medium Indoor/Outdoor (between 5,000 square feet and 10,000 square feet)		CP	
Garden Center, Plant Nursery, including Sales of Garden Hardware – Large Indoor/Outdoor (10,000 or more square feet)			NP
Grocery, Fruit or Vegetable Store	P		
Gymnasiums and Health Clubs	P		
Hardware or Electric Appliance Store	P		
Hobby Shop, Book Store, Bicycle Shop	P		
House Trailer Sales and Rentals			NP
Ice Cream or Frozen Yogurt Shop	P		
Industrial Uses of any kind			NP
Jewelry Store	P		
Laundry, Laundry Agency or Launderette	P		
Locksmiths	P		
Meat Market or Delicatessen Store	P		
Medical Clinics ⁽¹⁾	P		
Mobile Home Park			NP
Motels and Hotels			NP
Monument and Tombstone Sales			NP
Motorcycle, ATV, Boat, Jet Skies, Snowmobile, Ultra-Light, Moped – Sales, Rental, Service, Repair and Dismantling			NP
Movie Theatres - Small Neighborhood Serving (up to 300 Seats)		CP	
Movie Theatres – Large (300 or more Seats)			NP
Museums, Libraries, or Community Centers Publicly Operated	P		
Neighborhood Grocery and Video Rental	P		
News and Magazine Stands	P		
Office, business or professional	P		
Outdoor Advertising Signs and Outdoor Advertising Structure			NP
Outdoor Barbeque when Attached to Permitted Restaurant Use	P		
Outdoor dining when Attached to Permitted Restaurant Use	P		
Pet Clinics	P		
Photography/Artist Studio	P		
Private, Non-Commercial Clubs such as Golf, Swimming, Country Clubs and Tennis Clubs			NP
Produce Market	P		
Professional Nursing Care Facilities, Memory Care Facilities, and Assisted Care Facilities	P		
Public Parks and Playgrounds			NP
Public Parking Areas ⁽²⁾	P		
Public Service Facilities		CP	
Radio or Television Store	P		
Recreation Facilities	P		

TABLE 2-6 (CONTINUED)

Recreation Trailer Parks			NP
Residential			NP
Restaurant and Public Eating Establishments ⁽⁴⁾	P		
Small Business Work Centers	P		
Shoe store or shoe repair shop	P		
Souvenir and Curio Shops	P		
Temporary Uses ⁽³⁾⁽⁵⁾		CP	
Trailer Rentals (U-haul Type)			NP
Travel Trailer-Mobile Home, Motor Home, and Camper – Sale, Rent or Storage			NP
Undertaking Establishments, Mortuaries			NP
Vehicle Wash, Self-service or Automatic	P		
Vending Machines Distributing Products at Retail			NP
Wedding Chapel			NP
Wholesale Distributer’s Service Facility other than a Food Cooperative Distribution			NP
Wine Bar	P		
Other Uses Similar to the above as may be Determined by the Planning Director	P		

Footnotes:

- (1) Medical Clinics include, but are not limited to, outpatient surgical facilities.
- (2) Parking shall be developed as required per San Benito County Code, title 25 (Zoning Ordinance) Section 25.31.001, *et seq.*, unless otherwise specified in this Specific Plan.
- (3) Temporary Uses as defined by San Benito County Code, title 25 (Zoning Ordinance), Section 25.25.003 (temporary mobile homes) and 25.29.015 (other temporary uses designated, including without limitation, neighborhood bazaars, booths for charitable, welfare, civic or patriotic purposes, the open-air sale of Christmas trees, flea market operated for a non-profit organization, temporary business uses, and special events).
- (4) Restaurants include microbreweries, brewpubs and bars/lounges that serve meals.
- (5) Includes seasonal outdoor movie screenings.
- (6) Commercial entertainment and amusement establishments are defined as uses such as a bowling establishment, skating rink, miniature golf, arcade gallery or similar uses.

Site Development Standards (C2-SR)

Development of the C2-SR uses shall be regulated by the standards set forth below and the Design Guidelines set forth in Article 7, Section 7.4. of this Specific Plan.

TABLE 2-7 NEIGHBORHOOD COMMERCIAL (C2-SR) DEVELOPMENT STANDARDS

The following C2-SR development standards include:

Building Site Area	The minimum building site area in Neighborhood Commercial (C2-SR) district shall be determined by the Planning Director on a case by case basis and shall be sufficient to provide for required yards, landscaping and parking.
Building Setback from ROW/Perimeter Property Line (Minimum)	15 feet
Building Setback from Parking and Drive Aisle (Minimum)	10 feet
Parking	Per San Benito County Zoning Ordinance Section 43.6
Building Height Limits (Maximum) ⁽¹⁾	45 feet
Number of Stories (Maximum)	3

Footnotes:

- (1) Ground floor retail uses should include shops and restaurants that serve daily needs. Less intense uses, such as professional office and residential, should be located in 2nd and 3rd story space.

TABLE 2-8 PARKS (P-SR) LAND USE

P – SR	Permitted	Conditionally Permitted	Not Permitted
Class I Trails	P		
Commercial Uses of any kind			NP
Communication and Public Utility Facilities		CP	
Community Park	P		
Community or Private Garden	P		
Detention Basin	P		
Feedlots			NP
Industrial Uses of any kind			NP
Linear Park	P		
Native Wildlife Sanctuary	P		
Neighborhood Parks and Pocket Parks	P		
Residential Uses of any kind			NP
Sports/Recreational Facilities (Non-Commercial)	P		
Stables		CP	
Temporary Uses		CP	
Tot Lot	P		

Community Park



The Community Park shall encompass approximately 5.8 acres on the east side of Park Center Drive. It is anticipated that approximately 4.5 acres will be developed in turf for active uses that include a youth soccer field and informal baseball fields. A small tot lot and picnic area will be located within the park. It is anticipated that the Community Park will be located directly west of the proposed 8 acre elementary school site to facilitate joint use. The school should be designed, to the extent feasible, such that the recreational fields will be located on the west side of the school site as to allow for adjacency of the school recreation fields and Community Park. The facilities should be designed through a strategic partnership between the Developers, the County of San Benito and the Hollister School District.

Linear Park



The Linear Park shall encompass approximately 10 acres along an existing utility easement that extends through the Plan Area from the southeast to the northwest. It is anticipated that the park will vary from 50 to 200 feet wide and will serve as a link between Neighborhood Parks and the parkway on Orchard Park Road. Facilities in the park will include a Class I bike and pedestrian trail. The park will be turfed in selected areas along the bike path and planted with trees and shrubs.

Neighborhood Parks



The Neighborhood Parks will collectively encompass approximately 2 acres, will be a minimum of 12,000 square feet each, and will be strategically located throughout the Plan Area. The Neighborhood Parks will include turf and a tot lot. Additional Pocket Parks (independent of the Neighborhood Parks) are encouraged throughout the Plan Area. Additional Pocket Park opportunities will be identified during the Tentative Map process for each Neighborhood.

Other Recreation and Open Space Amenities



In addition to the over 18 acres of parkland within the Project, roadside trails, landscaped parkways and naturally designed detention basins provide key elements of the overall recreational and open space amenities. The Class I trail and sidewalks within landscaped corridors along the collector streets and Fairview Road described in Article 4, Section 4.2. will also provide for passive and active recreational activities.



Similarly, the detention basins may be designed to serve as informal Pocket Parks where feasible. These other recreation and open space amenities are in addition to the 18.2 acres of formal park space being provided as part of the Project.

FIGURE 2-2 CONCEPTUAL PARKS MASTER PLAN



NOTE:

Locations of neighborhood parks are conceptual and may vary. Actual locations will be determined at neighborhood tentative map stage.

ARTICLE 3. HOUSING

3.1. AFFORDABLE AND SENIOR HOUSING IN THE SANTANA RANCH PROJECT

Article 3 addresses the affordable and senior housing goals of the Project.

Affordable Housing

Housing affordable to a wide array of households and designed to address a broad range of community needs will be provided in the Santana Ranch Project. The Project shall provide affordable housing in the amount and in the manner required by the applicable County inclusionary housing regulations as set forth in the County's Code, Title 21, Chapter 21.03.

TO THE EXTENT CONSISTENT WITH THE APPLICABLE COUNTY INCLUSIONARY HOUSING REGULATIONS, THE PROJECT SHALL ADHERE TO THE FOLLOWING IN CONNECTION WITH THE PROVISION OF ITS AFFORDABLE HOUSING OBLIGATION.



1. Affordable dwellings shall be located on-site and dispersed throughout the Neighborhoods to the extent feasible.
2. Prior to recordation of the first Final Small Lot Subdivision Map (with "buildable" lots) for the Project, the Property Owners shall enter into an Affordable Housing Agreement with the County, which shall specify the manner in which the Project shall comply with its affordable housing obligations under the

applicable County regulations. This agreement shall address the inclusionary obligations for the entire Project (not just the portion of the Project site reflected in the Subdivision Map) and shall include, at a minimum, the amount of affordable units required and the timing for development of the affordable units, the level of affordability, interior and exterior design standards for affordable units, and specific monitoring and enforcement procedures.

3. Developers may seek financial assistance from San Benito County or other agencies to construct affordable dwellings.

However, financial assistance from the County is not assured and the lack of financial assistance does not reduce or eliminate the Developers obligation to meet the affordable housing commitment. Examples of such assistance include low interest loans, grants, and waivers of development fees.

Second and Senior Second Units

Second units such as apartment flats over a garage and detached accessory units on a single family lot shall be permitted in the Single Family Residential (R1-SR) land use designation and in accordance with Article 2, Table 2-1 of this Specific Plan and applicable local and state law governing development of second and senior second units. It is anticipated that these second units shall contribute to the Project's overall ability to serve a wide range of housing needs.

Senior Housing

The Santana Ranch Project will provide a variety of housing opportunities, some of which may be ideally suited to the needs of seniors. Because the needs of seniors vary so greatly, the housing options are numerous and will need to remain flexible. Possibilities include small lot detached houses, cottages, townhouses, and apartments for active seniors and those not requiring assistance. Assisted care, memory care, and professional nursing care facilities may be provided for seniors requiring assisted living.



Senior housing units or communities should preferably be located in areas that provide convenient access to community amenities. Senior housing projects should be residential in character and should be located where they are compatible with the surrounding neighborhood. Senior housing amenities may include, but are not limited to, common areas such as a central meeting area, sitting rooms, dining facilities, library, fitness room, parks, community gardens, open space, trails, etc.



ARTICLE 4. CIRCULATION

The Project's circulation network includes roads, pedestrian and bicycle paths, and facilities to support future public transit service along Fairview Road. Automobiles will remain a major mode of transportation in San Benito County for the foreseeable future. Nonetheless, the use of automobiles can be reduced where everyday destinations (such as Commercial, schools and Parks) are connected by safe, convenient and direct pedestrian and bicycle routes.



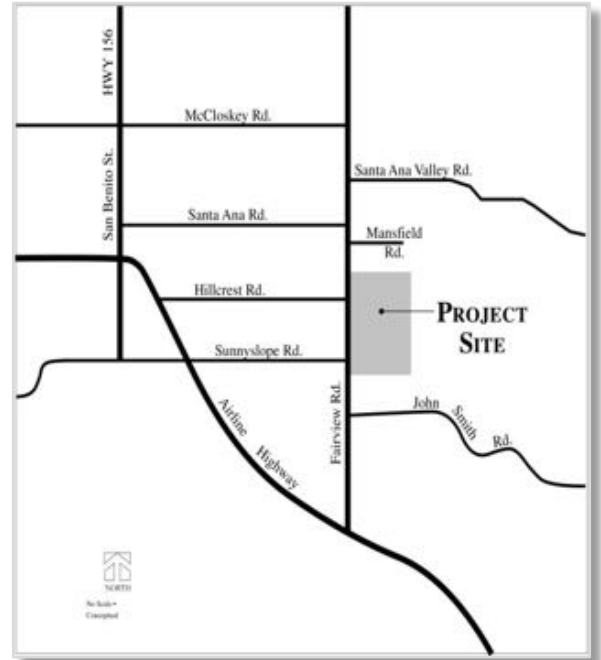
4.1. Existing Roads

Fairview Road, Sunnyslope Road and Hillcrest Road are the primary existing roads adjacent to, and within the Plan Area. Other primary existing roads in the vicinity include McCloskey Road, Santa Ana Valley Road, Santa Ana Road, and John Smith Road.



Fairview Road is a major north-south connector on the east side of Hollister linking Airline Highway with State Route 156 and State Route 152 to the northeast. The existing local area street system is shown on Figure 4-1 Local Streets.

FIGURE 4-1 LOCAL STREETS

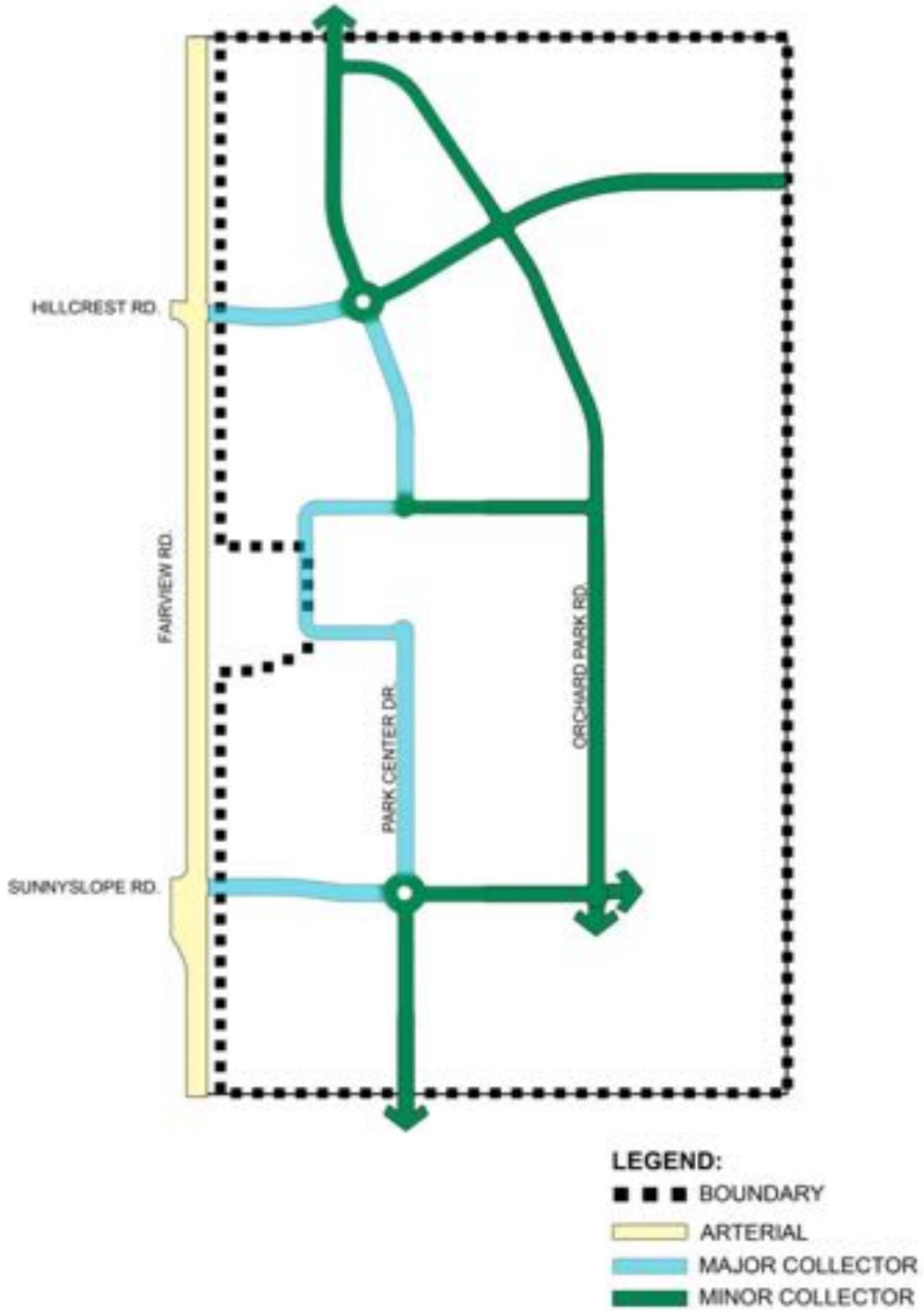


4.2. Circulation System Objectives

The Project shall incorporate the following objectives in the design of the street, bike and pedestrian system.

- Accommodate Area Wide Circulation
- Pedestrian Access to the School, Park and Commercial Area
- Consideration for Topographic Features
- Access to Individual Development Parcels
- Access between Neighborhoods
- Support of Public Transportation

FIGURE 4-2 MAJOR ROADWAY NETWORK



4.3. *Bikeways/Pedestrian Parkways*

The Project parkway network shall provide convenient routes to the school, Parks and Neighborhood Commercial center. The parkways shall include landscape corridors, trails, sidewalks and/or bike lanes along proposed streets, a bike lane and Class I trail along Fairview Road, and paved Class I trail through the linear parkway.



The parkways shall form a series of “pedestrian loops” that, together with the minor residential streets, will provide residents and visitors with varied routes for exercise or casual walks through Neighborhoods and to all amenities within the Plan Area (see Figure 4-3 Conceptual Parkway Master Plan). The pedestrian and bicycle routes shall provide connectivity between park amenities and the passive and active recreation areas. Shaded rest areas, benches and drinking fountains shall be located along the pathways to provide opportunities for rest and relaxation.

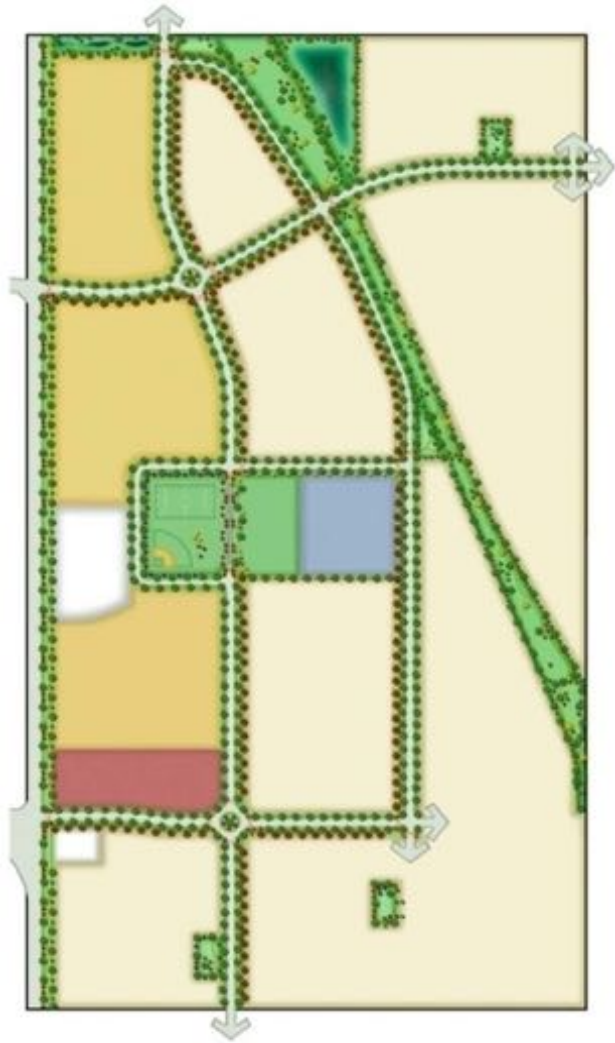
A pedestrian and bicycle path from the Community Park and around the adjacent Neighborhood shall provide a portal from the Park and school to the northeast corner of the Commercial site. A bike parking area shall be located at the north end of the Neighborhood Commercial center.

The Class I bikeway along Fairview Road shall be designed to link with the county-wide bike trails system and shall adhere to the following.

1. Minor collector streets shall incorporate 5 foot wide Class II bike lanes, 5 foot wide sidewalks, 10 foot wide planter strip, and/or 8 foot to 12 foot wide Class I trail.
2. Major collector streets shall incorporate 5 foot wide Class II bike lane, 5 foot wide sidewalk, 10 foot wide planter strip, and/or 8 foot to 12 foot wide Class I trail.
3. A 8 foot to 12 foot wide paved Class I trail shall be provided through the Linear Park.
4. Pedestrian and bicycle connectivity shall link to the various Neighborhoods, especially at the termini of cul-de-sacs, bulb-outs, etc.

The ultimate location, specific connections, landscaping requirements, and other design features of the bikeway and pedestrian parkway system, and the means by which Developers comply with the above-referenced Specific Plan policies shall be determined during the Tentative Map review process.

FIGURE 4-3 CONCEPTUAL PARKWAY MASTER PLAN



may provide the additional lanes for north-south travel along the east side of Hollister. Other north-south parallel routes to relieve Fairview Road traffic include Memorial Drive, the State Route 25 Bypass, Union Road and San Benito Street extension.

The need for a parallel north-south route to ensure adequate internal circulation and relieve future traffic pressure on Fairview Road was identified in previous studies. This Specific Plan anticipates right-of-way dedication along Fairview Road to accommodate 2 travel lanes in each direction, including pertinent turning lanes at the Fairview Road intersections with the proposed easterly projections of Hillcrest and Sunnyslope Roads and bus turnouts. In the event that the below referenced single additional Commercial driveway entry to the northerly end of the Neighborhood Commercial use area is allowed, additional right-of-way dedications may be required.

Park Center Drive is designed as a route parallel to Fairview Road that will reduce the need to use Fairview Road for vehicle travel within the Plan Area, but it is not intended as a regional route. Park Center Drive may provide future connections to John Smith Road to the south and Mansfield Road to the north, but will terminate at the north and south boundary and does not extend beyond this Plan Area. The future extension of Park Center Drive to the north is aligned with property boundaries to minimize the impact on existing properties.

The Project includes an extension of Hillcrest Road and Sunnyslope Road into the Plan Area to provide a connection to the existing collector streets. Hillcrest Road is shown as a possible extension to ultimately connect east to Best Road, or an alternative road. The intent is to allow necessary east-west, area-wide circulation in the future.

The collector streets are aligned in gentle curves and typically terminate at, or pass next to, a Neighborhood Park. The roads provide alternative pedestrian routes for residents from all points in the Plan Area to conveniently walk to the Neighborhood Commercial center. The street system is designed to provide at least two access routes into each Neighborhood to ensure adequate access for emergency vehicles within the Plan Area.

4.4. Streets

Project Street System

The Project's Circulation Master Plan (see Figure 4-4 Circulation Master Plan) includes 3 classes of public streets: arterial, major collector and minor collector streets. The street system is a modified grid that provides a relatively simple and direct access to all parts of the Plan Area.

As the population in San Benito County grows, it is anticipated that Fairview Road will become a 4 lane arterial. Future traffic demand on Fairview will depend on the level of traffic generated by new development and the availability of other parallel routes to accommodate north-south traffic. Best Road or other as yet undefined corridors to the east

The street system is also designed to minimize vehicle intrusion on residential Neighborhoods by routing non-resident traffic to a collector street, which is designed to accommodate the higher level of traffic. This allows the residential streets to be designed to handle only the local traffic and makes the streets safer for pedestrians. The Project provides for internal connections on residential streets to ensure ease of access for pedestrians throughout the Plan Area.

Planned right-of-way, number of lanes, and width of landscape corridors are shown for major roads (see Table 4-1 Arterial and Collector Streets Summary of Planned Street Specifications). The Fairview Road right-of-way width varies due to the Bureau of Reclamation (BOR) water line easement and the LESSALT treatment plant along the existing Fairview Road. Additional right-of-way shall be provided along the Hillcrest Road and Sunnyslope Road extensions at their intersections with Fairview Road to allow space for landscaped entry medians.

Arterial Street (Fairview Road)

The Fairview Road right-of-way is planned to accommodate a 4 lane arterial. The right-of-way for Fairview Road north of Sunnyslope Road shall be 110 feet. Paved traffic lanes will be permitted in the Bureau of Reclamation easement. On the east side of the road and within the proposed right-of-way, a landscaped corridor (29.5 feet from the back of curb) shall be provided. A 8 foot 12 foot Class I bike path shall be included within this corridor. No on-street parking shall be permitted on Fairview Road.

Fairview Road shall be a limited access roadway along the extent of the proposed Project. Cross traffic and full turning movements may be limited to the intersections at Hillcrest Road and Sunnyslope Road. However, a left turn pocket on southbound Fairview Road may be provided to access a driveway entry near the north end of the Neighborhood Commercial use. One additional Commercial driveway entry limited to right-in and right-out turning movements may be permitted along Fairview Road Other access points from Fairview Road may be allowed with approval from the San Benito County Public Works Department.

**TABLE 4-1
ARTERIAL AND COLLECTOR STREETS
SUMMARY OF PLANNED STREET SPECIFICATIONS**

Road	Lane Capacity	ROW	Paved Width	Street Components
Fairview Road				
(North of Sunnyslope)	4	110'	74'	29.5' (east side) and 5' (west side)
(South of Sunnyslope)	4	110'	74'	29.5' (east side) and 5' (west side)
Park Center Drive	2	78'-88'	38'-48'	5' Class II trail, 5' sidewalk, and 10' of planter strip; and/or 8' to 12' Class I trail
Orchard Park Road	2	78'-88'	38'-48'	5' Class II trail, 5' sidewalk, and 10' of planter strip; and/or 8' to 12' Class I trail
Hillcrest/Sunnyslope				
(West of Park Center Drive)	2-4	87'-116'	42'-69'	5' Class II trail, 5' sidewalk, and 10' of planter strip; and/or 8' to 12' Class I trail
(East of Park Center Drive)	2	78'-88'	38'-48'	5' Class II trail, 5' sidewalk, and 10' of planter trip; and/or 8' to 12' Class I trail

Noise buffering techniques such as berms and acoustical buffer walls shall be included in the landscape corridor as required to attenuate noise impacts on residences next to Fairview Road (see Article 7, Section 7.2. for additional information). Any soundwalls that separate residential Neighborhoods from adjacent arterial or collector streets should be broken at distances of not greater than 800 feet to allow a cyclist or pedestrian direct access from the interior of a Neighborhood to the path along Fairview Road. The breaks in the soundwall will connect to interior streets through short pedestrian/bikeway paths between residential areas.

Traffic signals shall be provided at the intersections of Fairview Road and Hillcrest Road, and Fairview Road and Sunnyslope Road.

Collector Streets (Park Center Drive, Orchard Park Road, Sunnyslope Road and Hillcrest Road)

Park Center Drive, Orchard Park Road, Hillcrest, and portions of Sunnyslope Road are the only designated collector streets in the Plan Area. In general, the Project is designed to rely primarily on local residential streets and minimize the use of collector streets.

Park Center Drive, (see Figure 4-5 Street Sections C, D, or E) may ultimately connect Mansfield Road with John Smith Road, but will terminate at a wooden barrier at the north and the south boundary of the Plan Area.

Hillcrest Road and Sunnyslope Road shall serve as major collector streets only to their intersections with Park Center Drive.

These segments shall have an 87 to 116 foot right-of-way (see Figure 4-5 Street Sections A and B). Parking (other than emergency parking) and residential curb cuts shall be prohibited on this portion of these streets.

It is anticipated that Hillcrest Road and Sunnyslope Road will have a 78 to 88 foot right-of-way with a 38 to 48 foot paved surface east of the intersection with Park Center Drive, (see Figure 4-5 Street Sections C, D, or E).

Residential Streets

The street system shown on the Major Roadway Network (see Figure 4-2 Major Roadway Network) is intended to minimize the through traffic on local residential streets. The local residential streets are designed to accommodate primarily the traffic generated by the residents along the streets. This will result in smaller street sections and slower traffic speeds within Neighborhoods. The typical local residential street will have a 60 foot public right-of-way with 2 travel lanes, on-street parking, and 5 foot wide sidewalks on both sides, as shown in Figure 4-5. Private residential drives may be utilized within common interest subdivisions in the RM-SR zone and in limited access drives in R1-SR zone (see Figure 4-5 Street Sections).

Alternative Street Configurations

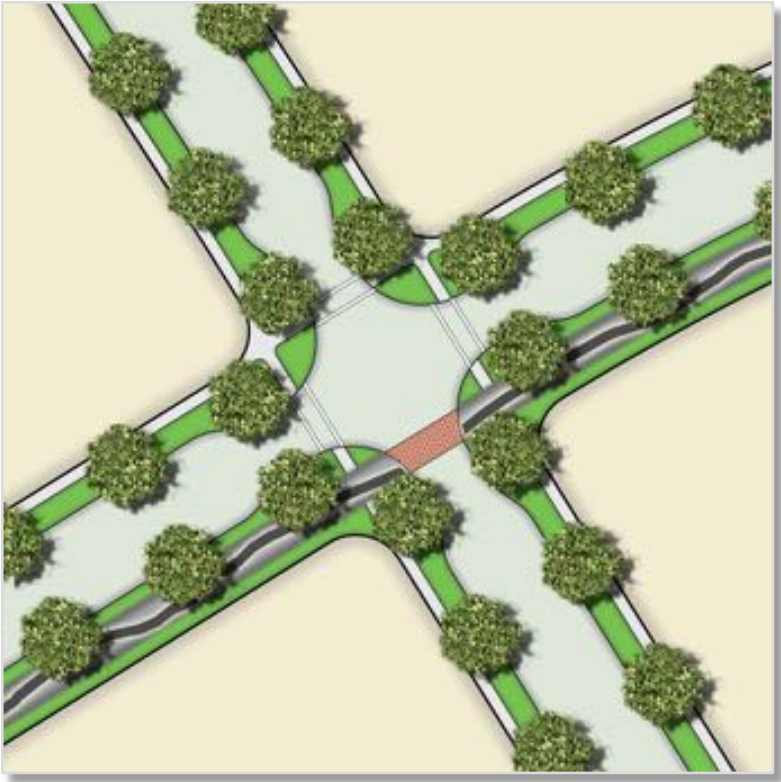
The street section may include a planting strip where the sidewalk is separated from the curb by not less than 4 feet to allow planting of street trees. Alternative designs including single loaded streets, one-way streets, parking restricted streets with dedicated parking bays, and alley designs may be included to further enhance the residential streetscape. Traffic calming design techniques such as roundabouts, tree planting strips and bays projecting into the street section (bulb-outs) will be permitted but are not required. Planting areas may be flared into the street to provide a narrower street section at residential street intersections. The flared design will slow the flow of traffic, provide a narrower street crossing for pedestrians, and provide additional street tree planting bays.

Minor residential streets are not illustrated on the Figure 4-4 Circulation Master Plan and will be designed at the Tentative Map stage subsequent to adoption of this Specific Plan.

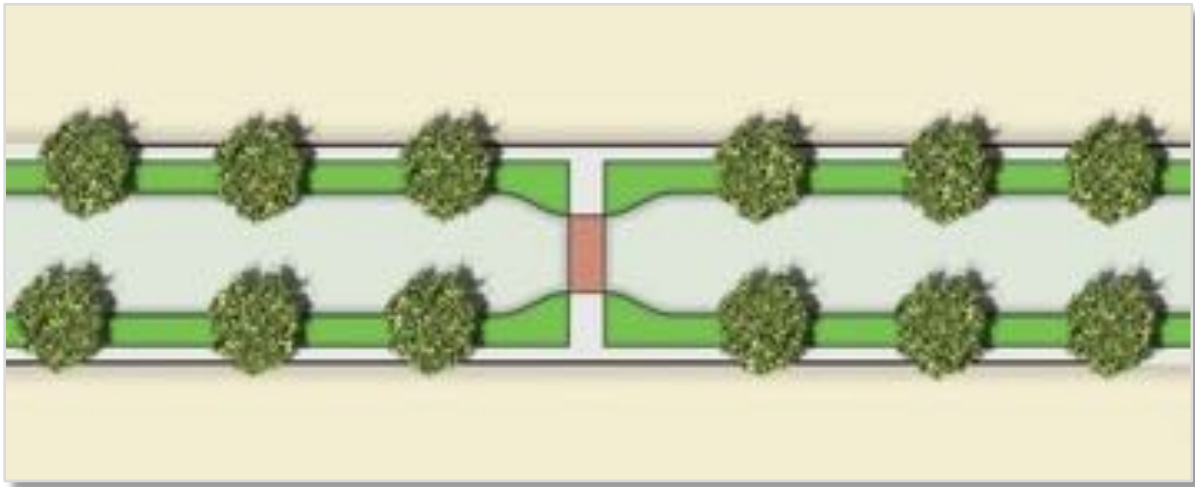
Off-Site Circulation Improvements

Cumulative growth in traffic will require improvements in other nearby intersections at full development of the Plan Area and the other developments in the County. The Plan Area will contribute to these improvements and others through participation in the County traffic impact fee.

TRAFFIC CALMING - TYPICAL BULB-OUT



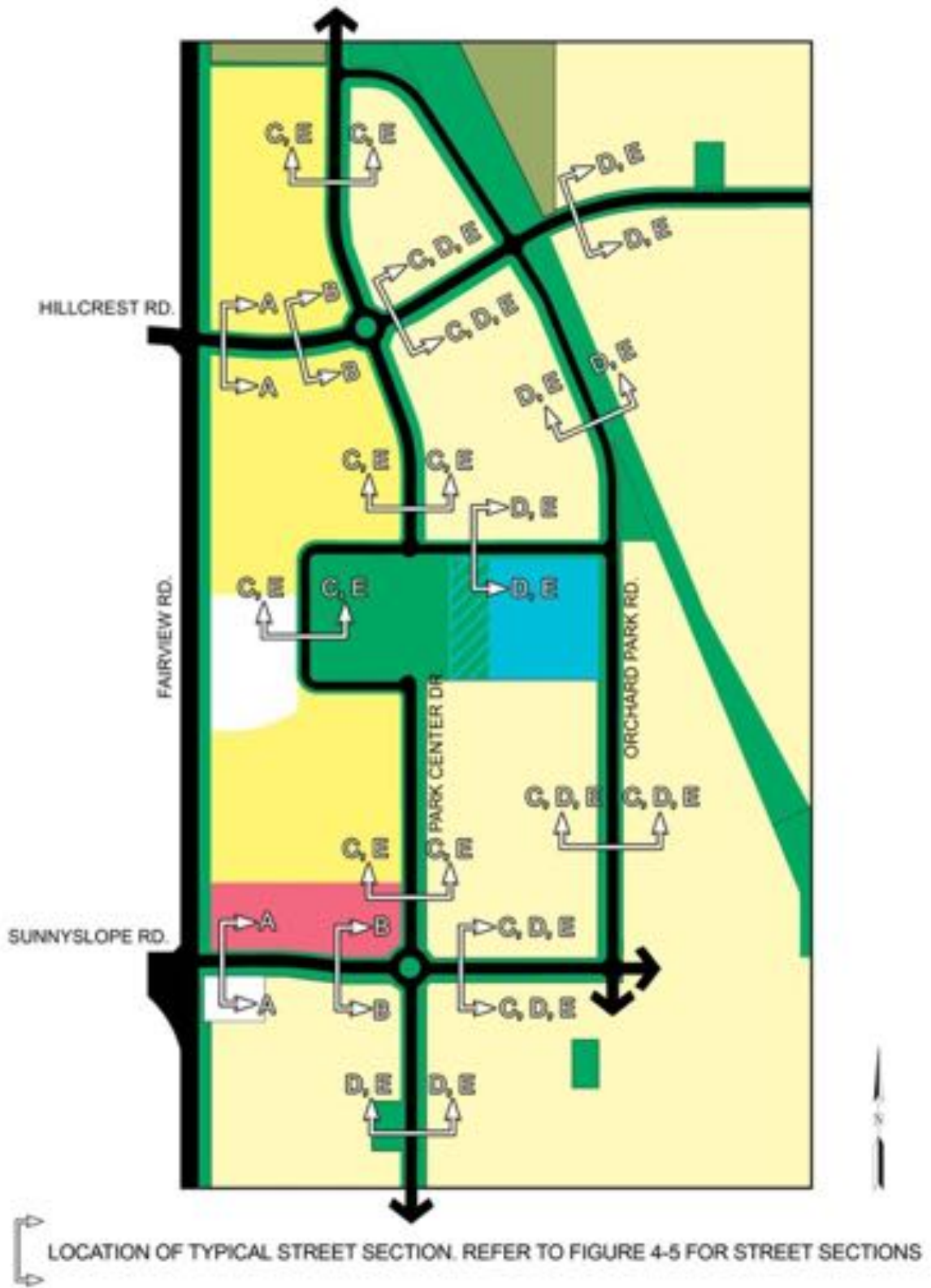
TRAFFIC CALMING - TYPICAL NECK-DOWN



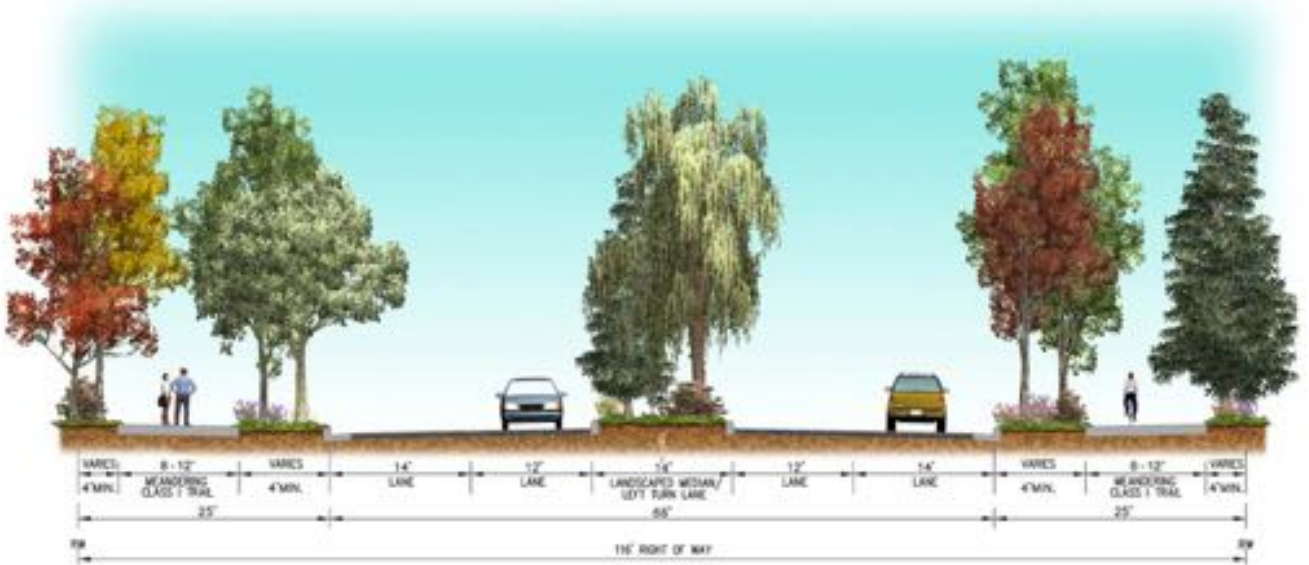
TRAFFIC CALMING - TYPICAL ROUNDABOUT



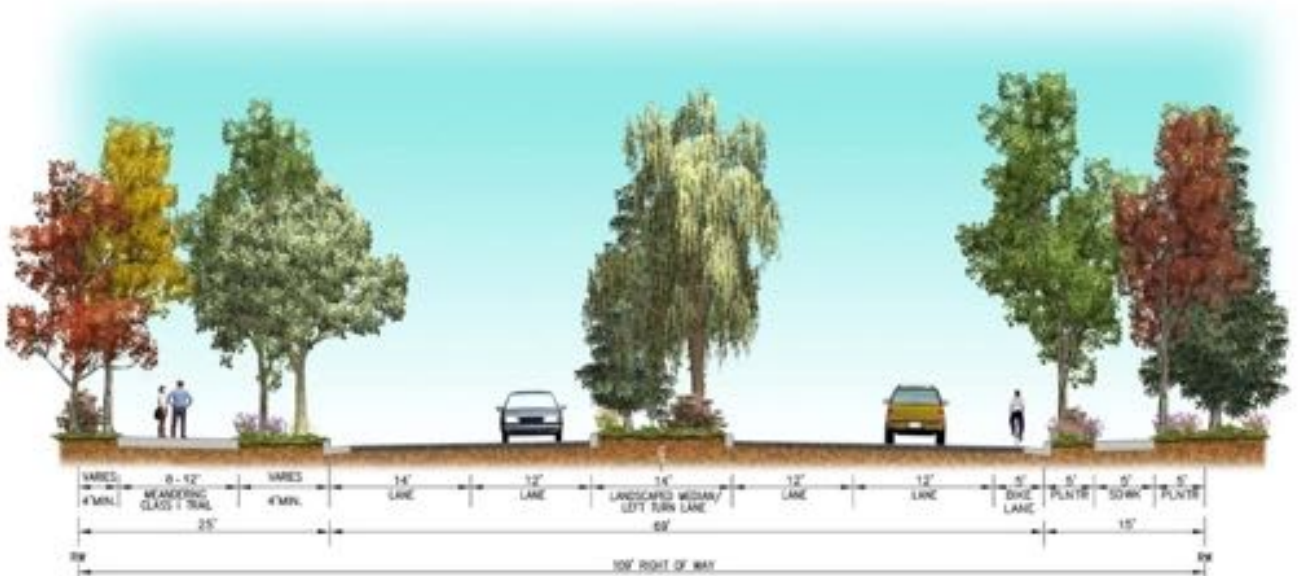
FIGURE 4-4 CIRCULATION MASTER PLAN



County Preferred Option
 Street Section A
 116' Major Collector Street (Option 1)



Street Section A
 109' Major Collector Street (Option 2)



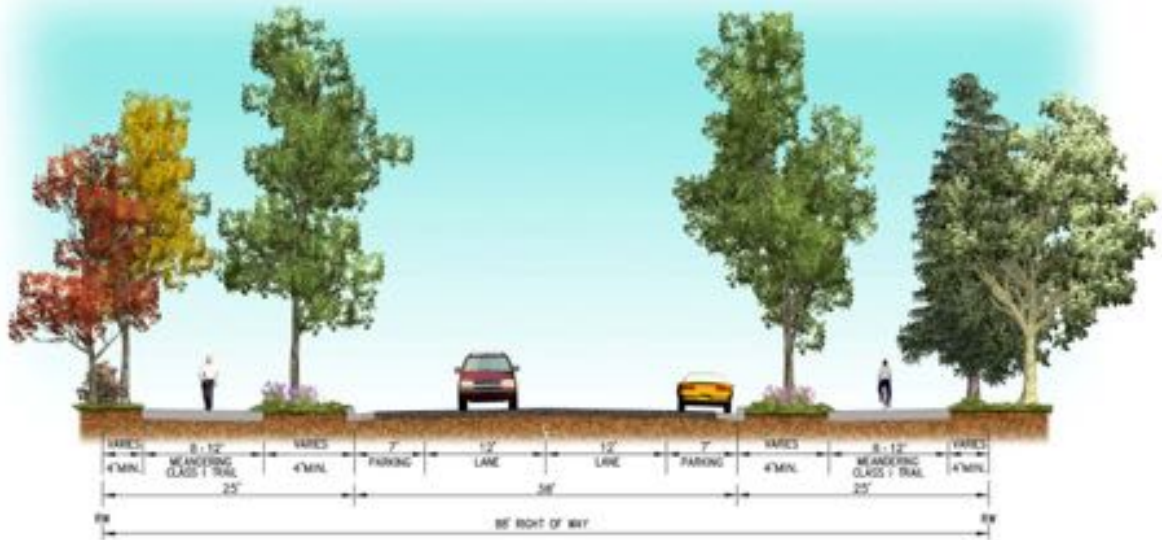
County Preferred Option
 Street Section B
 92' Major Collector Street (Option 1)



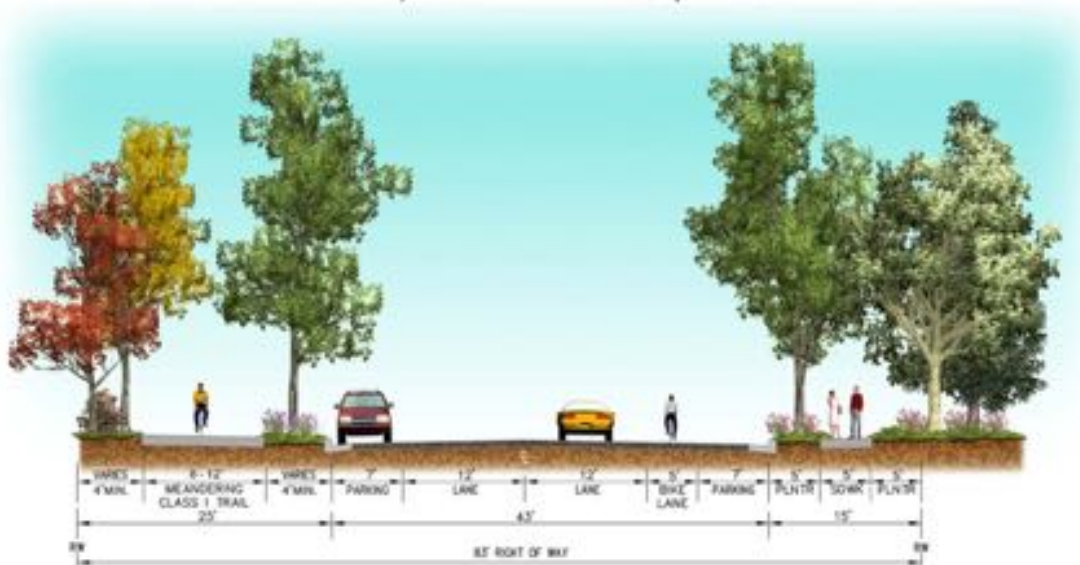
Street Section B
 87' Major Collector Street (Option 2)



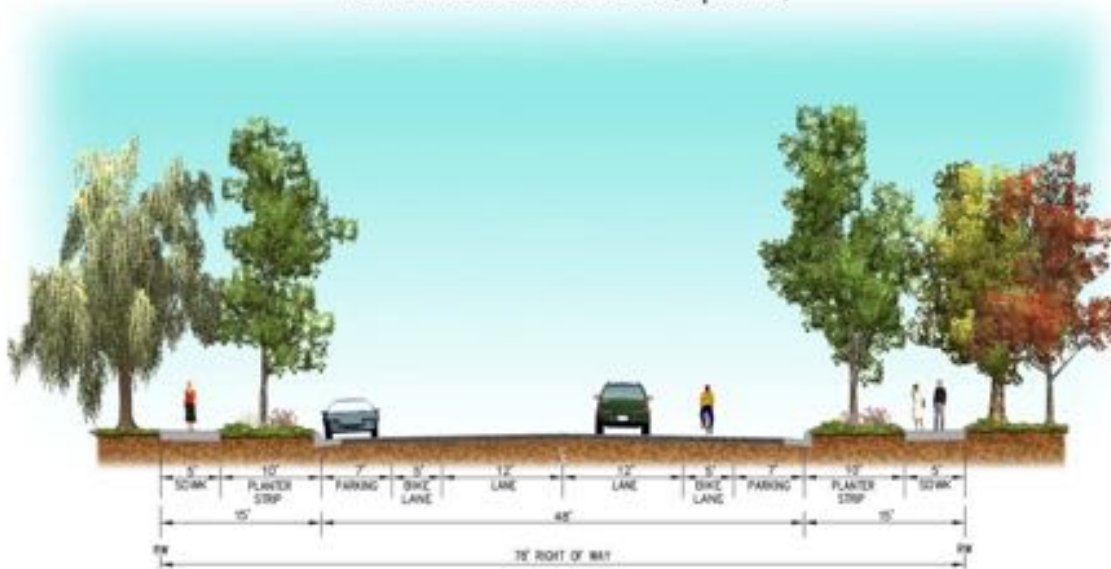
County Preferred Option
 Street Section C
 88' Major Collector Street (Option 1)



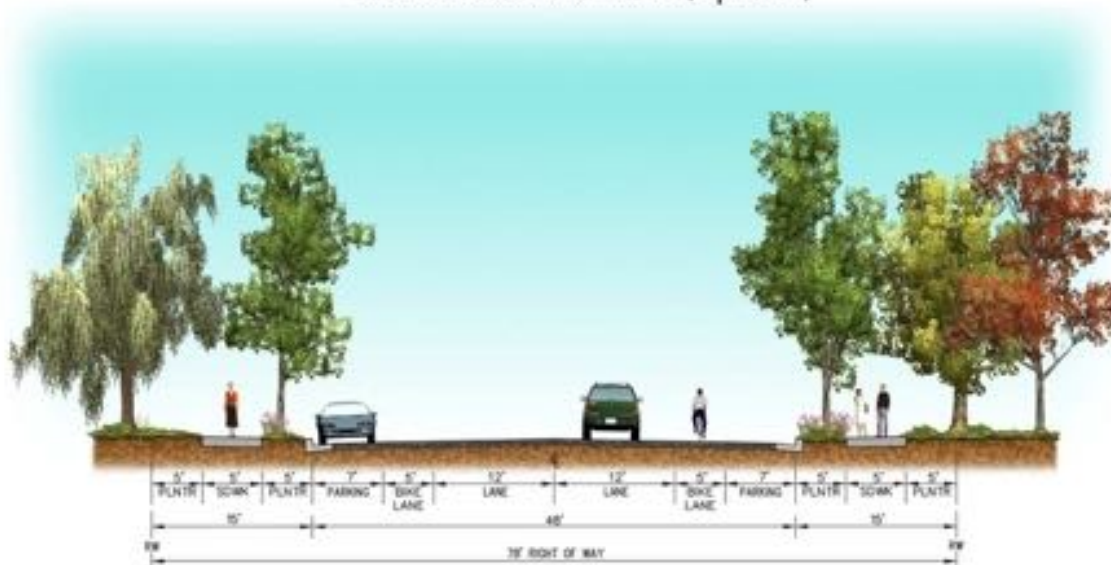
Street Section C
 83' Major Collector Street (Option 2)



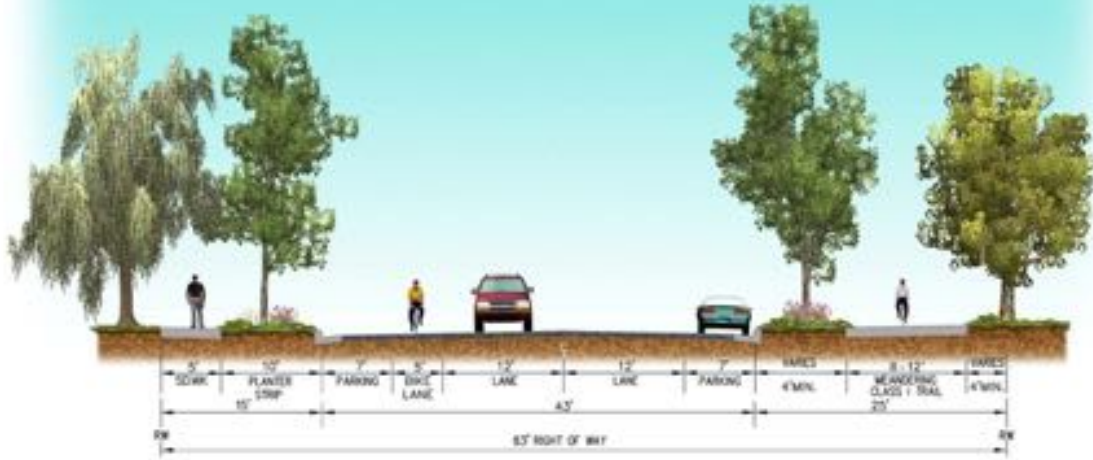
Street Section D
78' Minor Collector Street (Option 1)



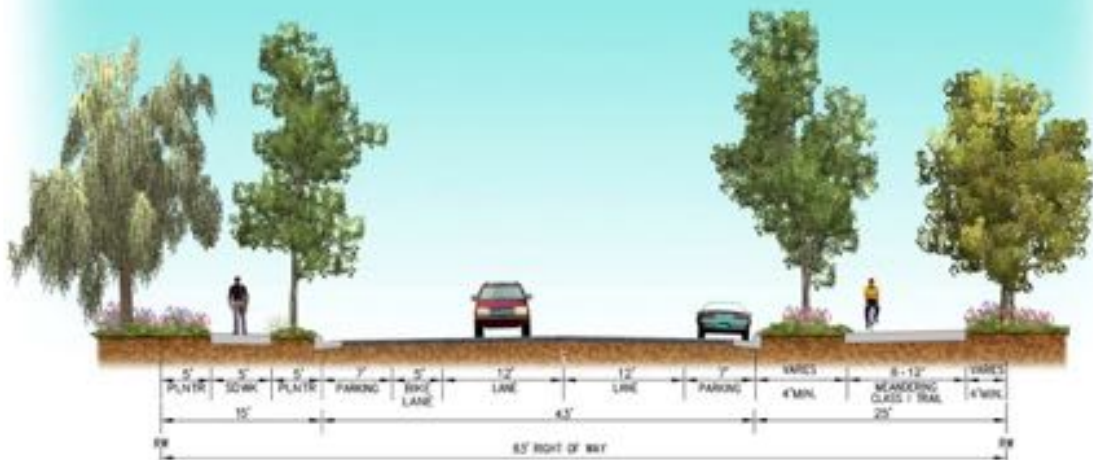
County Preferred Option
Street Section D
78' Minor Collector Street (Option 2)



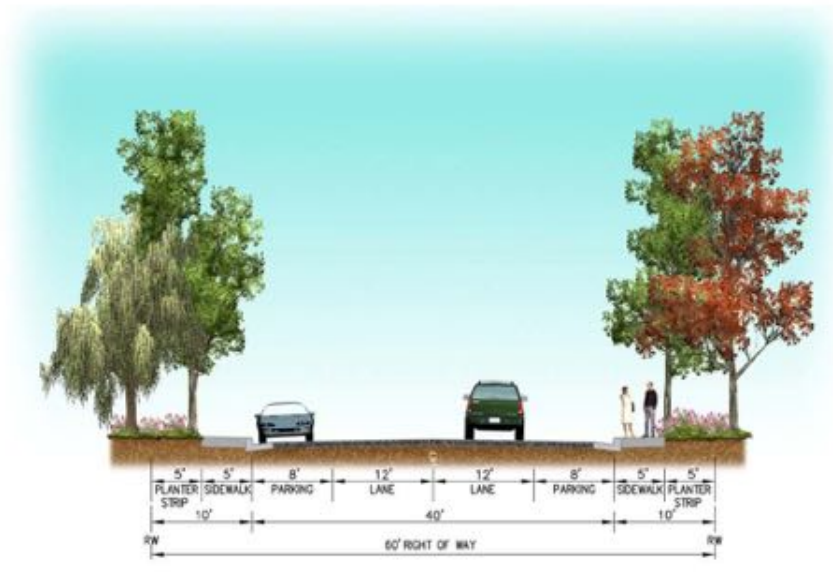
County Preferred Option
 Street Section E
 83' Minor Collector Street (Option 1)



Street Section E
 83' Minor Collector Street (Option 2)



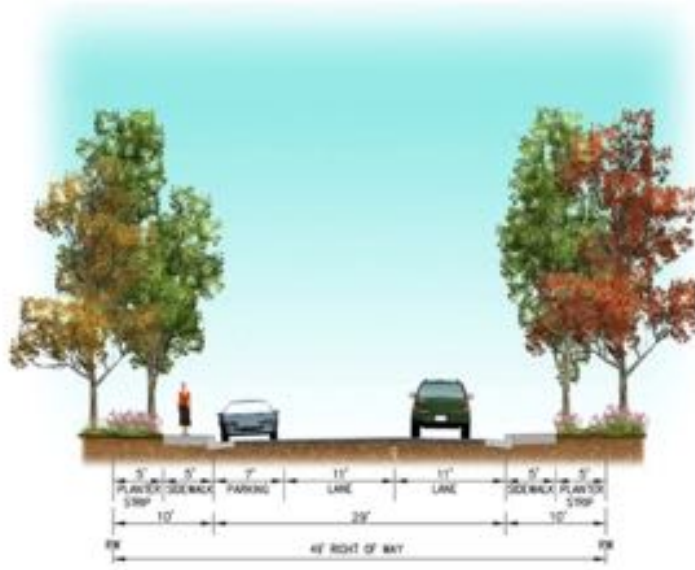
60' Local Residential Street (Attached Sidewalk)



County Preferred Option
60' Local Residential Street (Detached Sidewalk)



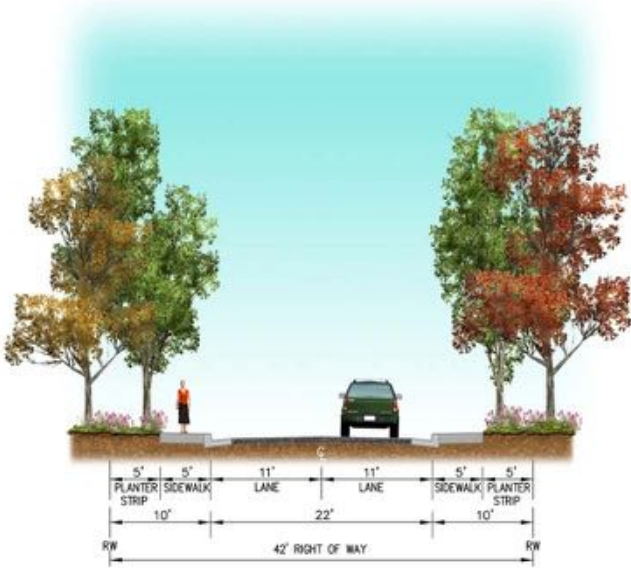
49' Private Drive Parking One Side (Attached Sidewalk)



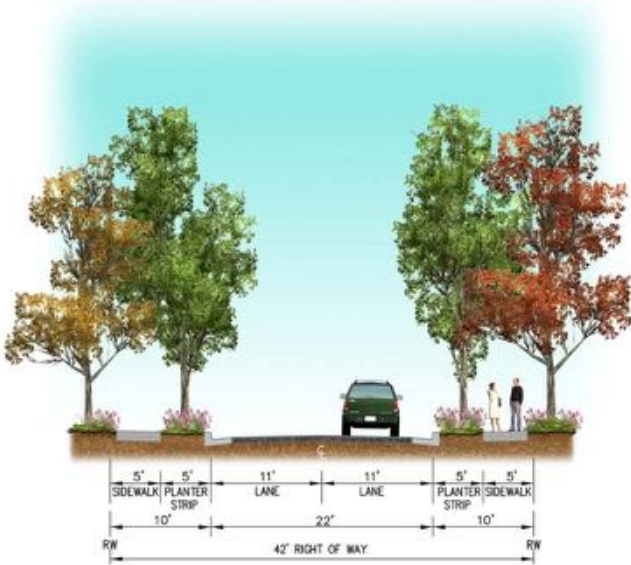
County Preferred Option
49' Private Drive Parking One Side (Detached Sidewalk)



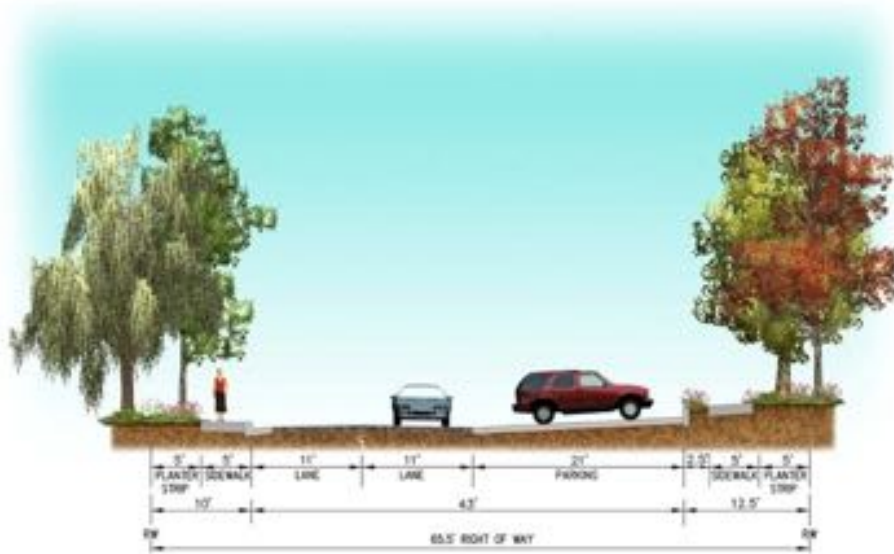
42' Private Drive (Attached Sidewalk)



County Preferred Option
42' Private Drive (Detached Sidewalk)



65.5' Private Drive-Perpendicular Parking Bays (Attached Sidewalk)



County Preferred Option
65.5' Private Drive-Perpendicular Parking Bays (Detached Sidewalk)



4.5. *Public Transit*

The potential to bring public transit into the Plan Area is enhanced by the proposed location of the Neighborhood Commercial use and by providing convenient pedestrian routes to likely bus stops. The street system design supports the provision of a looped bus route through the Plan Area.



In order to facilitate future bus service, turnouts shall be provided on Fairview Road at the intersections with Sunnyslope Road and Hillcrest Road as shown in Figure 4-4 Circulation Master Plan. Additional bus turnouts may be located within the Plan Area along the collector streets at the direction of the Public Works Director.

4.6. *Transportation System Management*

Transportation System Management (TSM) measures that encourage ridesharing and travel at times outside of the normal peak travel periods can help reduce traffic impacts on local streets. Ridesharing, flexible work hours, and other traditional TSM measures are usually most effective in reducing home-to-work trips and are more feasible and successful with large employment activities.

The Project shall implement the following transportation system management:

- A designated park-and-ride parking area shall be located in the Neighborhood Commercial center.
- An information board shall be located in the Neighborhood Commercial center for the

purpose of distributing information on rideshare and other public transit information distribution programs that may be offered by San Benito County Transit Services (SANTRANS).

4.7. *Circulation Policies*

Bikeways and Pedestrian Parkways

1. A minimum of one local residential street connection shall be provided between each adjacent Neighborhood shown in Article 2, Figure 2-1 Land Use Map to ensure convenient and direct pedestrian connectivity between all residential Neighborhoods.
2. All bike trails shall be constructed according to standards set forth in the “Bikeway Planning and Design” section of the California Department of Transportation Highway Design Manual.
3. The bike and pedestrian ways shall be constructed and landscaped by the fronting Property Owner/Developer concurrently with the development of the fronting parcel. The design of all street landscape corridors, sidewalks, pedestrian access points and bikeways shall be consistent with the design standards set forth in Article 7. The timing of sidewalk construction shall be coordinated with the site grading and improvements construction to minimize damage to the sidewalk and bike trail pavement.
4. Pedestrian openings at Hillcrest Road, Sunnyslope Road and at the Neighborhood Commercial center shall be provided.
5. Pedestrian connection shall be provided through the Community Park and adjacent residential use to the north end of the Neighborhood Commercial use. A distinct, paved point of entry from the bike trail and bike parking area shall be provided near the north end of the Commercial use site.
6. The bike/pedestrian way along Fairview Road shall be designed to connect to regional bikeways identified in the City of Hollister Parks and Recreation Master Plan, the Hollister Bike Plan, and the San Benito County Bike and Pedestrian Master Plan. The County Parks

Master Plan is currently in the process of being updated.



de-sac head to an adjacent street, where practical.

Public Transit

1. Bus turnouts shall be located near the northeast corner of Fairview Road and Sunnyslope Road, Fairview Road and Hillcrest Road, and other locations within the Plan Area as approved by the San Benito County Public Works Director and after consultation with COG.

Street System Design and Layout

1. Access along Fairview Road shall be restricted to points approved by the San Benito County Public Works Director, with the following permitted exceptions. A right turn ingress and egress to the Neighborhood Commercial center shall be permitted within 300 feet north of the intersection of Sunnyslope Road and Fairview Road; and a full left turn movement with a turn pocket in the median on southbound Fairview Road shall be permitted within 150 feet south of the north boundary of the Commercial site.
2. Local residential streets shall be designed to discourage drivers, to the extent feasible, from taking direct routes through residential Neighborhoods.
3. Residential streets adjacent to the Community and Linear Parks shall be single-loaded with residences facing the Park, where feasible.
4. Parking shall be prohibited on Fairview Road and on Sunnyslope Road and Hillcrest Road between Fairview and Park Center Drive.
5. Residential streets shall provide connectivity by providing convenient walking routes to the Neighborhood Commercial uses, the school and the Parks.
6. Where Cul-de-sac bulbs are located within 80 feet of an adjacent street, the cul-de-sac should provide a pedestrian connection from the cul-

ARTICLE 5. RESOURCE MANAGEMENT

Article 5 of the Specific Plan summarizes the existing resources of the Plan Area and the Project's resource management objectives and policies.

Resources addressed in this Article include:

- Wetlands
- Sensitive Species
- Soils
- Water Quality
- Water Conservation
- Air Quality
- Energy Conservation
- Historical and Cultural Resources



5.1. Existing Site Conditions

The Plan Area is at the base of a series of rolling hills. The on-site topography is variable, with elevations ranging from 340 to 500 feet. Most of the Plan Area has been used for cattle grazing since at least the early 1990's. At that time, approximately half the Plan Area was used for hay cultivation, much of the remainder was dedicated to cattle grazing, a small portion was in cultivation as a walnut orchard, and a moderate-sized stock pond existed in the north-central area of the site.

In March of 1995, a storm destroyed the stock pond, and instead of replacing the dam, the walnut orchard was extended into the formerly ponded area. Further changes in land use on-site have occurred since 1994 in that now the entirety of the Plan Area that is not developed or used for the walnut orchard supports hay cultivation

approximately three out of four years, and approximately every fourth year these portions are uncultivated and left for grazing.

The *Important Farmlands Map of San Benito County* (2006) classifies the Plan Area mostly as "Farmlands of Local Importance" and the remainder as "Other Land." "Farmlands of Local Importance" is suited for the cultivation of dry crops, such as Wheat, Oats, Safflower and Grain Hay; "Other Land" includes land not included in any other mapping category, such as low density rural development.

According to the H.T. Harvey report dated October 1, 2008, potential jurisdictional waters were identified within and immediately adjacent to the Plan Area. These waters include 0.40 acres of seasonal wetlands within the Plan Area and 0.01 acres of linear wetlands within the bed of Santa Ana Creek.

With respect to wildlife species, no sensitive species are known to exist within the Plan Area. The Plan Area is within the region where Burrowing Owl, San Joaquin Kit Fox, California Tiger Salamander, California Red-Legged Frog, Western Pond Turtle, Western Spadefoot, San Joaquin Whipsnake, White-tailed Kite, Cooper's Hawk, and Loggerhead Shrike could potentially occur. Specifically with respect to the California Red-Legged Frog, according to the H.T. Harvey report (dated March 31, 2008), there is no suitable aquatic breeding habitat for this species within the Plan Area, as the seasonal wetland depressions within the Plan Area boundaries are too shallow and does not pond water long enough for successful breeding.

No rare, threatened, or endangered plants, or plants considered to be sensitive by the California Native Plant Society are known to exist in the Plan Area. There are 4 special-status plant species that were not found but cannot be eliminated from consideration until focused, blooming-period surveys can be conducted, including the Round-Leaved Filaree, Pinnacles Buckwheat, San Joaquin Spearscale, and Hairless Popcorn-Flower, may be present. However, the Plan Area is considered marginal for rare plants due to the preponderance of

non-native invasive species as a result of hay production and grazing management practices.

In terms of soils in the Plan Area, the San Benito County Soils Survey Map identifies three soil series: Antioch (AnB and AnC2), Rincon (RsC), and San Benito (SbD and SbE2).

All of these soils are classified as having slight to moderate erosion potential and are characterized by a shallow layer of clay hardpan that inhibits permeability. This clay layer poses a limitation for some types of agricultural production, but is not significant to the type of development proposed in the Project. Grade I soils are not present on site. The majority of the Plan Area has relatively moderate slopes, except for certain minimal and localized areas with slopes between 10 percent and 13 percent.

The Plan Area is not known to be the site of any historic or prehistoric resources.

5.2. Resource Management Objectives

In this Specific Plan the main resource management objective is to:

- Minimize negative effects on air quality, water quality, energy demand and the natural resources in the area.

The Specific Plan objectives on land use, circulation, open space, recreation and other public facilities are all designed to be consistent with and facilitate attainment of the Resource Management Objectives.

5.3. Resource Management Policies

The following resource management policies shall be imposed on all development within the Plan Area.

Soils and Grading Protection Policies

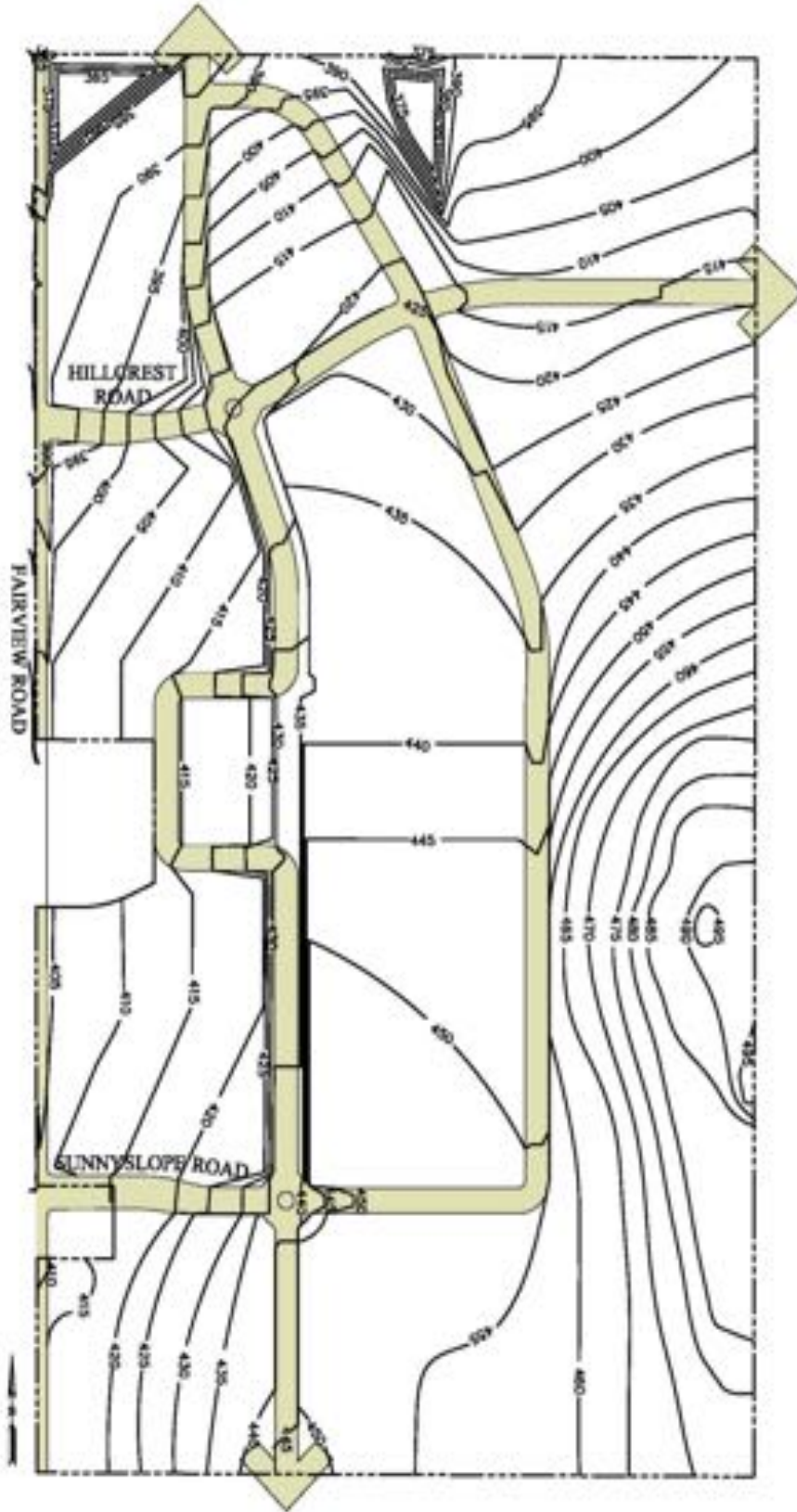
1. To the extent any significant environmental impacts with respect to soils and grading are identified, the Project shall mitigate as required under the Mitigation Monitoring and Reporting Program (MMRP) and other conditions of approval.

2. Prior to application submittal of the first Small Lot Final Subdivision Map (with “buildable” lots), the Property Owners shall submit to the County for its review and approval a Master Grading Plan. All development within the Plan Area shall comply with the Master Grading Plan, as it may be amended. The Master Grading Plan shall provide for earth work operations within the entire Plan Area. The average grade of the Plan Area shall be approximately 6 percent, with gentle slopes of 2 to 4 percent being ideally targeted; provided, however, that grading for specific conditions, such as in retaining walls, may involve grades in excess of 6 percent.
3. Improvement Plans submitted for County review and approval shall include drainage and erosion control plans. Specific erosion control measures shall be adopted for all development within the Plan Area to protect area waterways from erosion and debris during construction. Such measures shall include, but not necessarily be limited to, seeding of graded areas, watering during grading activities to reduce wind erosion, and the use of hay bales and filter cloth to prevent siltation of stream courses.
4. The general configuration of the natural topography shall be preserved in the development process to the extent feasible. The existing hill forms may be graded to permit conventional building techniques, but the overall hill form shall be retained. Construction techniques including, but not limited to, contour grading, individual building pads and retaining walls are encouraged as a means of preserving natural topography.
5. The edge of cut and fill slopes shall be rounded and tapered to blend with existing topography, contours on adjacent sites and roadways.
6. Soil exposed during grading which will be left exposed and is not under active construction during the rainy season shall be promptly replanted with native compatible, drought-tolerant vegetation.
7. Drainage problems resulting from poor soil permeability shall be reduced through development of gravel subdrains and the

creation of swales and channels to convey runoff.

8. Limitations on landscaping created by shallow soils, limited water-bearing capability, and/or impermeable underlying materials shall be reduced through the following measures or a combination thereof:
 - Over excavation or drilling of areas to be landscaped followed by the importation of topsoil;
 - Use of drought-tolerant or shallow-rooted landscaping;
 - Use of efficient irrigation systems; and
 - Development of uses that allow for common landscaped areas with guaranteed maintenance.
9. Best Management Practices (BMPs) shall be incorporated into the design of drainage systems for individual areas of development within the Plan Area.
10. Sediment traps, evaporation basins, flow reduction devices, and other methods to reduce the volume of pollutants in paved surface runoff shall be installed in the storm drain system according to County standards. BMPs shall be used where feasible, as determined by the County.
11. Rock energy dissipaters or other methods shall be used at the outflow points of any culverts.
12. The Public Works Department shall approve all drainage facility designs prior to the development of individual projects within the Plan Area.

FIGURE 5-1 CONCEPTUAL ROUGH GRADING PLAN



Historical and Cultural Resources Protection Policies

1. To the extent any significant environmental impacts to historic or cultural resources are identified, the Project shall mitigate as required under the MMRP and other conditions of approval.
2. If any prehistoric or historic archaeological resources or artifacts are exposed or discovered during site clearing or subsurface construction, all activity shall stop within 50 feet of the find and a qualified professional archaeologist shall be contacted for further review and recommendations. All recommended mitigation measures shall be implemented by the Developer in coordination with the County.

Water Quality Protection Policies

Water quality is a concern in areas where urban runoff (rainfall, landscape irrigation and other runoff) is allowed to enter natural drainage courses.

1. To the extent any significant environmental impacts with respect to water quality are identified, the Project shall mitigate as required under the MMRP and other conditions of approval.
2. In addition, the Santana Ranch Project shall adhere to the following water quality standards:



A. Site Drainage System:

- Prior to application submittal of the first Small Lot Final Subdivision Map (with “buildable” lots), the Property Owners shall submit to the County for its review and approval a Master Drainage Plan. All development within the Plan Area shall comply with the Master Drainage Plan, as it may be amended. The Master Drainage Plan shall provide that storm water shall generally remain in the existing drainage patterns or shall be directed through swales and underground pipes to detention basins, which shall then drain to the existing outlets at the north and west boundaries of the Plan Area. The water shall be detained prior to discharge to drainage facilities that lead to off-site natural streams. Non-structural and structural BMPs shall be used to improve effective water quality.
- All site drainage facilities for the Project shall conform to County of San Benito design standards.

- Improvement plans for streets, drainage, building sites and other public improvements within the Plan Area shall comply with the requirements of the San Benito County grading permit process, erosion control and improvement standards, and the Project Environmental Impact Report (EIR) mitigation measures as set forth in the adopted MMRP.
 - BMPs to protect water quality, as identified in the Project EIR's mitigation measures as set forth in the adopted MMRP, shall be implemented during grading and construction.
 - Erosion control requirements shall be established for the Project through implementation of the Storm Water Pollution Prevention Plan (SWPPP), required for the development of individual areas within the Plan Area.
 - Sediment traps, evaporation basins, and flow reduction devices and other methods to reduce the volume of grease and oil pollutants in parking areas and street surface runoff shall be installed in the storm drain system, if determined necessary by the County Public Works Director.
 - The design of storm water collection and conveyance systems shall minimize erosion and other potential problems for on-site and adjacent properties.
 - Impervious surfaces in the residential areas shall be minimized to the extent feasible to reduce runoff.
 - The residential design shall include active and passive open spaces, thereby helping to minimize increases in impervious surfaces and associated site runoff.
 - Educational flyers and other materials shall be supplied to the Project residents to increase their understanding of water quality and best management practices.
 - The Project shall include storm drain system stenciling with language to discourage illegal dumping of unwanted materials into the catch basins and field inlets.
 - The Neighborhood Commercial uses shall include on-site sediment and oil filtering devices for the pretreatment of the major paved areas (as required).
- B. Water Quality During Construction
- The Project shall implement construction BMPs to ensure that water quality is protected.
 - Construction BMPs shall include erosion control measures, sediment transfer reduction measures and dust control measures.
 - All contractors and personnel shall be trained in appropriate BMPs. In addition, the Developer shall retain a construction manager familiar with National Pollution Disposal Elimination System (NPDES) permit requirements to monitor construction activities.
 - The Project shall use native plants and drought-tolerant landscaping to the extent feasible. The Project shall also install efficient irrigation systems, such as drip irrigation and automatic irrigation systems to minimize excess runoff.
- C. Water Quality Post-Construction:
- Residential Areas:**
- The Developer shall provide information and instructions to potential Project residents before close of escrow of their home purchases regarding water quality BMPs.
 - Public education activities. The Developer shall provide information to new Project residents regarding water pollution prevention.
 - In addition to the other requirements set forth herein, the Project shall include requirements for the Homeowners Association to implement the following additional measures within any common landscaping and open space areas:
 - Materials Use Controls, which include good housekeeping practices (storage, use and cleanup) when handling potentially harmful materials, such as cleaning materials, fertilizers, paint and where feasible using safer alternative products;

- Material Exposure Controls, which prevent and reduce pollutant discharge to storm water by minimizing, to the extent feasible, the storage of hazardous materials (such as pesticides) on-site, storing materials in a designated area, installing secondary containment, conducting regular inspections, and training employees and subcontractors;
- Material Disposal and Recycling, which include storm drain system signs and stenciling with language to discourage illegal dumping of unwanted materials.
- The Project shall include a prohibition on the dumping of waste (solid waste, liquid and yard waste) into storm drain systems, open space areas, and creeks.
- The Project shall include provisions for private street parking lot and storm drain maintenance activities. These activities shall control the movement of pollutants and removal of them from the pavement through catch basin cleaning, storm drain flushing, street sweeping, and by regularly removing illegally dumped material from the project site.



Commercial Areas:

- The Developer of the Neighborhood Commercial center and any areas that are used for Commercial uses in the future shall be required to adhere to the following measures within any private and/or common landscaping and open space areas:
 - Materials Use Controls, which include good housekeeping practices (storage, use and cleanup) when handling potentially harmful

materials, such as cleaning materials, fertilizers, paint, and where feasible using safer alternative products;

- Material Exposure Controls, which prevent and reduce pollutant discharge to storm water by minimizing the storage of hazardous materials (such as pesticides) onsite, storing materials in a designated area, installing secondary containment, conducting regular inspections, and training employees and subcontractors;
- Material Disposal and Recycling, which include storm, drain system signs and stenciling with language to discourage illegal dumping of unwanted materials.
- Development of the Neighborhood Commercial center and any areas that are used for Commercial uses in the future shall include a prohibition on the dumping of waste products (solid waste, liquid waste and yard trash) into storm drain systems, open space areas, and creeks.
- The Commercial operators shall be responsible for related private street parking lot and storm drain maintenance activities to ensure that movement of pollutants is controlled. These activities shall include the removal of pollutants from the pavement through catch basin cleaning, storm drain flushing, street sweeping, and by regularly removing illegally dumped material from these areas.
- The Commercial operators shall be responsible for the inspection, maintenance and repair of sediment and oil filtering devices for the pretreatment of the major paved areas.



Water Conservation Policies

Water shortage conditions often exist within parts of California, including the County of San Benito. The County has responded with a plan that provides guidelines for water conservation (San Benito County Water Conservation Plan, adopted by the Board of Supervisors in July, 1992, Resolution 92-82). This Water Conservation Plan places limits on certain water uses, and enforces the use of water saving devices and conservation measures. It also requires a maximum allowable water budget for irrigation of new landscape. The formula to be used for calculating the water budget is based upon the area's average year climate and the size of the landscaped area. The landscape water use set forth in this Specific Plan will also conform to Title 23 of the California Code of Regulations.

The Santana Ranch Project shall adhere to the following water conservation policies:

1. To the extent any significant environmental impacts with respect to water supply are identified, the Project shall mitigate as required under the MMRP and other conditions of approval.
2. The Santana Ranch Project, including, without limitation, plant material, irrigation system design, and landscape applications within the Plan Area, shall comply with the applicable provisions of the County's water conservation plan (as it may be amended), as described more fully in Article 7, Section 7.2. of the Specific Plan.
3. Water conservation shall be encouraged through the installation of low-flow toilets, shower heads, and faucets in all residential units in the Project.
4. Dual-distribution water systems with reclaimed water and non-potable water from SBCWD shall be used for landscape irrigation in the parks and landscape corridors along the collector and arterial streets.
5. Landscape irrigation shall incorporate water conserving techniques such as, for example, low precipitation sprays heads and drip irrigation.
6. Runoff prevention measures for landscape irrigation shall be implemented in Project development. Native drought-tolerant landscaping materials shall be used in Project development to the extent feasible.
7. In compliance with the County Water Conservation Plan (San Benito County Water Conservation Plan, adopted by the Board of Supervisors in July, 1992, Resolution 92-82), the maximum allowable water budget shall be calculated for landscape irrigation in the following areas:



- Parks
- Landscape corridors along the collector and arterial streets
- Developer-installed landscaping in residential projects

Air Quality Protection Policies

Air quality is recognized as a significant environmental concern that influences the quality of life for all residents. The Plan Area is located within the North Central Coast Air Basin, which includes San Benito, Monterey and Santa Cruz Counties.

Urban development as proposed in the Plan Area would increase the amount of motor vehicle emissions within the San Benito County region. However, it is anticipated there would also be an incremental reduction in county-wide agricultural burning and pesticide emissions since pasture land and a small orchard would eventually be converted to residential and Commercial land uses.

Although an increase in motor vehicle emissions will result, the spatial layout of the community can help maintain air quality over a period of years. Locating retail and business-professional uses in areas accessible by pedestrian walkways and interior streets is an example of spatial layout that will encourage walking or bicycling and thereby help reduce the impact from future vehicular traffic. These issues as they relate to community design are addressed more fully in the Design Guidelines, Article 7.

In addition to those set forth in Article 7 of the Specific Plan, the Santana Ranch Project shall adhere to the following air quality protection policies:

1. To the extent any significant environmental impacts with respect to air quality are identified, the Project shall mitigate as required under the MMRP and other conditions of approval.
2. A park and ride lot shall be located in the Neighborhood Commercial area.
3. A bus turn-out shall be provided on the northeast corner of the intersections of Fairview Road/Sunnyslope Road and Fairview Road/Hillcrest Road.
4. Short-term air quality impacts associated with construction activities shall be reduced through compliance with requirements of grading permits, all applicable Project conditions of

approval and mitigation measures, and applicable enforcement measures adopted by the Monterey Bay Air Pollution Control District.



Energy Conservation Policies

Energy conservation in residential communities can be achieved by reducing the length and number of auto trips, by energy conserving design and by accommodating solar energy design in residences. With regard to reduction of Project auto trips to reduce energy demand, the principal methods have been outlined in the air quality discussion immediately above and the circulation section. It is anticipated that measures designed to reduce the number and length of vehicle trips will be effective in reducing the amount of energy required by Project residents.



The Santana Ranch Project shall adhere to the following energy conservation policies:

1. To the extent any significant environmental impacts with respect to energy are identified, the Project shall mitigate as required under the MMRP and other conditions of approval.

2. Electrical energy efficient measures shall be incorporated into development of the Santana Ranch Project. Residential energy conservation will be promoted by requiring that development adhere to California Energy Commission Title 24 requirements. It is anticipated that implementing energy conservation measures for the Project as contemplated herein will reduce heating and air conditioning as well as water heating energy use.
3. The Project's dwelling units shall be designed, where feasible, to incorporate solar energy as a means of heating, cooling and providing domestic water heating; this is described more fully in Article 7, Section 7.1. of the Specific Plan. A key component in the Project's design is to ensure that dwellings are properly oriented to take advantage of solar heating and cooling. In general, this is achieved by designing residential streets on an east-west axis and/or applying roof designs that expose areas of roof and walls towards the sun. The Project achieves this design because the primary collector streets are oriented north-south so that the interior residential streets connected to them will generally tend to be oriented east-west. The orientation of streets to facilitate solar heating and cooling is addressed in Article 7, Section 7.1.
4. Trees shall be planted and maintained to ensure that, within 15 years of planting, at least 50 percent of the parking areas within the Plan Area are shaded at mid-day during the summer season in order to reduce solar gain.
5. All development within the Plan Area shall implement the alternative transportation programs and policies set forth in Article 4 of this Specific Plan.

ARTICLE 6. PUBLIC FACILITIES AND SERVICES

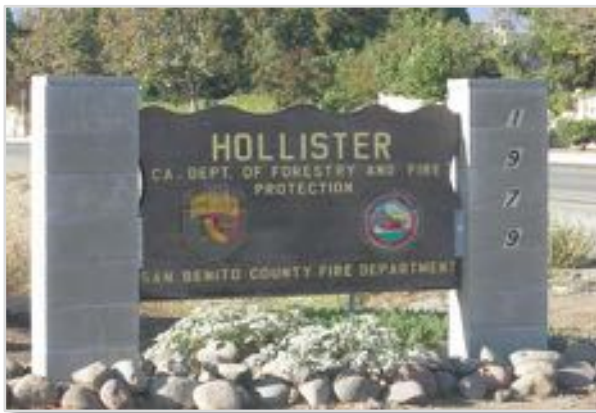
Urban services and facilities that shall be provided for in the Plan Area include:

- Fire Protection
- Police
- Schools
- Recreation and Parks
- Domestic Water
- Solid Waste Disposal
- Wastewater
- Storm Drainage
- Telephone
- Electricity
- Cable
- Natural Gas

The Project shall be financially self-sufficient through the use of revenue sources provided in Article 8, Section 8.2.2. It is anticipated that Project funding will come from a variety of sources, including property taxes, sales taxes, other taxes and fees collected by San Benito County, as well as assessments and private financing.

6.1. Fire Protection

Currently, fire protection in the Plan Area is provided by the California Department of Forestry and Fire Protection (CDF), which contracts with San Benito County to provide service throughout much of the unincorporated area of the County. Through a mutual aid agreement, CDF and City of Hollister fire units routinely combine forces to fight structural blazes, particularly in unincorporated areas.



Upon development of the Plan Area, CDF will continue to serve the Plan Area, providing first

response. The CDF station is located on Fairview Road adjacent to the boundary of the Plan Area. The station is staffed by four full-time personnel, and supplemented by a crew of 20 volunteer fire fighters who help battle structural and wild land fires.

At the request of the CDF, the Developers will construct a manually controlled traffic signal that would be located at the station to allow CDF officials to stop Fairview Road traffic when responding to a call. Access to the entire Plan Area is excellent through Hillcrest Road and Sunnyslope Road; therefore, no additional point of access is anticipated to be required. However, if requested by CDF, the Developers will construct an emergency entry to the Community Park located next to the Neighborhood Commercial center. The proposed bike and pedestrian trail system shall be constructed to be adequate to serve as an emergency access route to the interior street system. The Project shall provide adequate turnaround and turnout facilities and adequate water supply and pressure for fire protection in accordance with CDF standards and requirements; the water source for structural fire protection in the Plan Area will be the Sunnyslope County Water District. The Developers shall install sprinklers in the Commercial and multi-family residential buildings as required by the California Fire Code.



6.2. Police Protection

Currently, police protection in the Plan Area is provided by the San Benito County Sheriff’s Department.

Upon development of the Plan Area, the Sheriff’s Department will continue to serve the Plan Area. The department headquarters are located in Hollister approximately 2 miles west of the Plan Area; these facilities are anticipated to be sufficient to house any additional staff required to serve the Project.



6.3. Emergency Medical Services

Emergency services for the residents of the Project will be provided by San Benito Emergency Medical Services and Hazel Hawkins Hospital approximately 4.5 and 1.5 miles from the Plan Area, respectively.

6.4. Schools

The Plan Area is within the boundaries of the Hollister School District and the San Benito High School District.

Elementary Schools

The Property Owners have agreed to set aside an 8 acre elementary school site to serve approximately 700 students, which would be located near the center of the Plan Area next to the site planned for the 5.8 acre Community Park. It is anticipated that a school built on this site would be a K-8 Elementary School and could house approximately 700 students.

The design of the school will be determined by the Hollister School District in accordance with state guidelines. However, the Property Owners intend to

work cooperatively with San Benito County and the Hollister School District to create an optimal school design for the site and community.

Article 8 describes the timing of development and the conditions for Hollister School District acquisition of the site. The Hollister School District is currently negotiating with the Property Owners to finalize an agreement to acquire the site.

Future student enrollments are estimated based on the average number of students per residence in the district (see Table 6-1, Student Enrollment Projection at Full Build-out). The Hollister School District uses a student generation rate of 0.57 students per dwelling unit for grades K-8. Based on planned development of 1,092 dwelling units, the total anticipated K-8 enrollment will be 623 students. Accordingly, the anticipated school on the 8-acre school site in the Plan Area, with a capacity of approximately 700 students, could serve the elementary school needs generated by the Project at full build-out.

TABLE 6-1 STUDENT ENROLLMENT PROJECTION AT FULL BUILD-OUT

GRADE CATEGORY	YIELD RATE	NUMBER OF DWELLINGS	NUMBER OF STUDENTS
K-8	0.57 X	1,092 =	623
9-12	0.23 X	1,092=	252

High School

The Plan Area is within the boundaries of the San Benito High School District. The District estimates future enrollment on the basis of 0.23 high school students per dwelling unit. Accordingly, the Project will generate roughly 252 students.

There is currently sufficient capacity at San Benito High School to accommodate the Project’s high school students. It is anticipated that the Project’s students would attend San Benito High School until San Benito High School reaches full enrollment of 3,000 to 3,500 students.



In the future, it is anticipated that the San Benito High School District will need to construct another high school to accommodate growth in the County, including the Project. The district currently owns a site, in the vicinity of Best Road and Airline Highway, which could potentially accommodate a new high school. At such time as the District constructs a new high school, either at the Best Road site or another, undetermined alternative site, it is anticipated that the students from the Project will attend that new high school.

6.5. Recreation and Parks

San Benito County requires 5 acres of parkland per 1,000 residents. Based on the projected population of 3,549 residents in the Santana Ranch Project, approximately 17.8 acres of park land is required. The Project will include a total of 18.2 acres of formal park space (6.2 percent) within the Plan Area. This exceeds the County requirements for park acreage. As shown in Article 2, Figure 2-2 Conceptual Parks Master Plan, the planned Project park facilities include 10.4 acres in a Linear Park that extends through the Plan Area, 2.0 acres in Neighborhood Parks, and the 5.8 acre Community Park. In addition to this park acreage, the Developers shall develop smaller Pocket Parks, which will be located throughout the Plan Area, to the extent feasible. The specific location and size of these Pocket Parks will be determined at the Tentative Map stage for each Neighborhood. Neighborhood Parks will be a minimum of 12,000 square feet and Pocket Parks will be a minimum of 5,000 square feet. The parks and recreation system and amenities shall be designed to be consistent with the Specific Plan. As part of the application for the first Small Lot Final Subdivision Map (with

“buildable” lots), the Developer shall prepare a Master Landscape Plan to the satisfaction of the County’s Director of Planning.

In addition to the 18.2 acres of formal parks and the additional Pocket Parks, the Developers shall provide private, common interest recreational facilities within each RM-SR Neighborhood, unless a public park is within close proximity, in accordance with the park standards set forth in Article 2, Section 2.6. of the Specific Plan.



The parks will be distributed throughout the Project so that children can generally walk to a park without crossing a major street. The parks will provide a mix of small play areas, picnic areas and sports facilities to accommodate a wide range of activities. Turf areas will be provided at each park to accommodate impromptu activities such as soccer, football, volleyball, etc. Pocket Parks are intended as small neighborhood enclaves with minor park amenities such as benches, a picnic table, paths, landscape features, and possibly a small play structure.



TABLE 6-2 FORMAL PARK AND RECREATION SUMMARY

Park Type	Acreage
Linear Park	10.4
Neighborhood Parks	2.0
Community Park	5.8
Total ⁽¹⁾	18.2

Footnote:

(1) Pocket Park acreage and common interest subdivision recreational and open space facilities provided in connection with the RM-SR Residential Multiple development, as well as those that could be located on the detention basins, are in addition to the 18.2 acres of formal parks and recreation facilities.

Other Recreation and Open Space Amenities

In addition to the over 18 acres of parkland within the Plan Area and other planned park facilities, the Project will be developed with roadside trails, landscaped corridors and naturally designed detention basins, which will provide key elements of the overall recreational and open space amenities.

Trail System

The Class I and Class II trails and sidewalks within landscaped corridors along the collector streets and Fairview Road described in Article 4, Section 4.2. of the Specific Plan will provide for passive and active recreational activities.

Detention Basins

Storm water detention basins may function as both accessible and non-accessible open space. These basins may be designed, where feasible, to serve the dual purpose of Neighborhood recreation and storm water detention.



The Plan Area will include at least two detention basins on a total of approximately 5 acres. The detention basins may be located next to the Linear Park or Neighborhood Parks. Although safety and drainage considerations may require fencing and restricted access, it is intended that the detention basins be an attractive amenity, rather than strictly utilitarian (see Article 2, Figure 2-1 Land Use Map) for conceptual locations.

The specific design of these facilities will be prepared as part of the surrounding Tentative Map design process. The following shall guide future development of the detention basins.



The basins will vary in depth and shall be fenced if the basin's high water depth exceeds 1.5 feet to prevent access, or where basin sides exceed a 5 (horizontal) to 1 (vertical) slope. Where feasible, detention basins may be designed to have both a fenced non-accessible area and an un-fenced high

flow area that could be used as an open space recreation amenity where water depths are less than 1.5 feet.

The perimeter of each basin shall be landscaped with trees and shrubs in locations and elevation above the floor of the basins such that the landscaping does not interfere with the detention function of the basin. The floor of the basin may be turfed to provide an informal recreation area for the surrounding neighborhood, where feasible.

6.6. Solid Waste Disposal

Currently, solid waste disposal in the Plan Area is provided by Integrated Waste Management, and placed in the County Landfill located on John Smith Road approximately 2 miles east of the Plan Area.

Upon development of the Plan Area, Integrated Waste Management will continue to serve the Plan Area. Solid waste generated by the Project will be placed in the County Landfill, which currently has capacity. According to Intergrated Waste Management, the projected remaining capacity of the landfill, as of July 4, 2008, is approximately 2,093,309 cubic yards, or 17.5 years based on the average daily refuse acceptance rate of 250 tons. San Benito County also owns a 125 acre site adjacent to the John Smith Road Landfill, which is currently being studied as a potential new landfill site.

The Developers shall provide areas on-site to facilitate recycling within the Neighborhood Commercial center. Residential areas will be served by curbside recycling provided by Norcal Waste Systems. Where curbside pick-up is not practical, conveniently located centralized recycling storage and collection facilities will be provided.

6.7. Domestic Water

The Project's domestic water supply needs will be served by Sunnyslope County Water District (SSCWD).

A portion of the Plan Area (APN's 025-370-001 & 002, 025-100-001), approximately 144 acres in total, are within the SSCWD Service Area. The remaining 147 acres of the Plan Area (APN's 025-370-011 & 012) are located within the SSCWD

Sphere of Influence, but not in the SSCWD service area. Accordingly, approval by San Benito County Local Agency Formation Commission (LAFCO) of the annexation of this land to the SSCWD Service Area will be required prior to service.

SSCWD has prepared a "Water Supply Assessment" as required by SB610 to assess the District's ability to provide long-term water supply to the Project. The estimated potable water demand for the Project is 617 acre-feet per year (including exterior irrigation use) per the Water Supply Assessment. The Developers shall collaborate with SSCWD to locate, drill, test and complete any new well(s) required to serve the Project. In accordance with SB 221, prior to development of the Project, the Developers, in collaboration with the District, shall ensure that the capacity of the well(s) is sufficient to serve the water demand of the Project.

The Plan Area is within Zone 6 of the San Benito County Water District (SBCWD) which provides water for agricultural, municipal and industrial uses from the San Felipe Unit of the Central Valley Project (CVP). SBCWD has contracted with the US Bureau of Reclamation for an annual allocation of 43,500 acre-feet of water to provide Zone 6 water needs until the year 2020. Of the total allocation, 19 percent (8,250 acre-feet) is designated for municipal and industrial use.

A portion of the Project is expected to be served by the City of Hollister under a 1972 agreement between the City of Hollister and the land owner. The City agreed to supply water to serve 300 residences on the property on demand. This agreement is recorded on the title of this property and runs with the land. This water would be supplied by City of Hollister wells, SSCWD wells, and by CVP water treated at the LESSALT facility. The water would be delivered to the site via SSCWD water mains, and would be considered a transfer from the City of Hollister system (see Article 8 for Domestic Water Infrastructure Phasing).

Water Conservation Measures

The County Water Conservation Plan includes specific measures for installation of water saving devices and water efficient landscaping required for all new construction.

Water conservation is a significant factor in the future water use in the Plan Area. The San Benito County Water Conservation Plan adopted by the Board of Supervisors in July, 1992 Resolution 92-82, if rigorously applied, will substantially reduce water demand in new development compared to historic residential water use.

The landscape water use set forth in this Specific Plan will also conform to Title 23 of the California Code of Regulations.

The Project shall adhere to the detailed landscape irrigation budget set forth in Article 7, Section 7.2. of this Specific Plan, as well as the water conservation policies set forth in Article 5, Section 5.3. The County shall ensure the Project meets these standards and requirements as part of the Project's Tentative Map review process.

Water Distribution System

The Project's water distribution system shall be designed to serve the Project at full build-out. As part of the application for the first Small Lot Final Subdivision Map (with "buildable" lots), the Developer shall prepare a Potable Water Master Plan to the satisfaction of the County Director of Public Works and the SSCWD. The system shall be developed in accordance with the Potable Water Master Plan (as may be amended). At minimum, the Potable Water Master Plan shall contain the following:

- Identification of on and off site backbone distribution mains needed to support the Plan Area; and
- Identification of pumps or booster stations needed to support the Plan Area.

The entire Plan Area will be served by SSCWD infrastructure. The Project will connect to the existing high pressure water main in Fairview Road approximately 3,000 feet south of the Plan Area and extend it north along Fairview Road to the intersection of Hillcrest Drive and into the Plan Area. A booster station would be located in the general vicinity of the existing Fairview zone water tanks that would boost water from the low pressure zone to the high pressure zone. The water distribution system within the Plan Area will be located within road rights-of-way or along property

boundaries. The Project shall be designed to ensure that any potential low pressure conditions identified by the Sunnyslope County Water District (SSCWD) will be adequately addressed.

6.8. Wastewater Collection and Treatment

At full build-out, the Project is estimated to generate average sanitary sewer flows of 0.29 million gallons per day (mgd) with peak flows (x2.5) of 0.73 mgd.

Wastewater Treatment Capacity Provided by the City of Hollister

Project wastewater shall receive tertiary treatment, as determined necessary by the Central Coast Regional Water Quality Control Board (RWQCB). It is anticipated that wastewater treatment capacity for the Project will be obtained from the City of Hollister, which recently completed a treatment plant expansion sufficient to accommodate the anticipated wastewater flows of the Project and anticipated City growth. Effluent would gravity flow from the north-west corner of the Plan Area and connect into the City's wastewater system on Hillcrest Road at a location approximately 3,500 feet west of Fairview Road. This would include the installation of a new main in Hillcrest Road from Fairview Road to Beverly Drive. It is anticipated that LAFCO would need to approve any arrangement for the City of Hollister to provide wastewater treatment capacity to the Project since the Plan Area is outside of the City's municipal boundaries and Sphere of Influence.

New Wastewater Treatment Plant

In the event wastewater treatment capacity from the City of Hollister is not feasible, an alternative wastewater service option would be for a new wastewater treatment plant to be built as part of the Project on a site immediately adjacent to the Plan Area. It is anticipated that this new wastewater treatment plant would require a 2 acre site for the control building and wastewater treatment basins, plus additional area for the leach fields, drying beds and storage pond. Such basins would be constructed of concrete and enclosed within a fence for security. The site would be landscaped with trees and ground cover to provide an aesthetically pleasing appearance. Access to the site would be

provided by a graveled road from Mansfield Road approximately 500 yards to the north.

In the initial phase of Project development (20 to 25 percent of total development), the effluent could be disposed of in an underground leach field north of the treatment plant. Soils tests by Reynolds & Associates reveal percolation rates satisfy the requirements. Well tests to 800 feet failed to find any aquifer in the Plan Area.

The leach field could also be used for extra storage during the rainy season. Treated water could also be stored in a small lake and pumped to landscaping in the Plan Area. Tertiary treatment water would be used for surface effluent disposal.

Wastewater Master Plan

The Project's wastewater collection, treatment and distribution system shall be designed to serve the Project at full build-out. As part of the application for the first Small Lot Final Subdivision Map (with "buildable" lots), the Developer shall prepare a Wastewater Master Plan to the satisfaction of the County Director of Public Works and the SSCWD. The system shall be developed in accordance with the Wastewater Master Plan, (as may be amended). At minimum, the Wastewater Master Plan shall identify the size, location and timing of all major sewage facilities proposed, and shall be accompanied by all supporting technical information and calculations to demonstrate that implementation of the Plan shall satisfy all applicable regulations, standards and guidelines, including without limitation, those set forth in Specific Plan Article 8.

Recycled Water Use

The Project shall utilize recycled water for irrigation of the following land uses: the school, Parks, detention basins and landscape corridors, the Neighborhood Commercial site, and if practical, any large landscape areas of over 12,000 square feet within common interest subdivisions. The source of recycled water will be dependent on the wastewater treatment option used. Regardless of the recycled water source and wastewater treatment option, recycled water distribution within the Plan Area will require a looped system through water mains within the street rights-of-way.

The Project's recycled water distribution system shall be designed to serve the above specified uses in the Project with recycled water at full build-out. As part of the application for the first Small Lot Final Subdivision Map (with "buildable" lots), the Developer shall prepare a Recycled Water Master Plan to the satisfaction of the County Director of Public Works and the SSCWD. The system shall be developed in accordance with the Recycled Water Master Plan, (as may be amended). At minimum, the Recycled Water Master Plan shall identify the size, location and timing of all major recycled water lines and any pumps proposed, and shall be accompanied by all supporting technical information and calculations to demonstrate that implementation of the Plan shall satisfy all applicable regulations and standards.

The final design of the Project's recycled water distribution system will depend on which wastewater collection and treatment option is ultimately implemented. If the Project is provided with capacity by the City of Hollister as anticipated, water would be treated by the City's Domestic Wastewater Treatment Plant and would be provided to the Plan Area. This would require the construction of a recycled water main that would connect the City's treatment plant to the Plan Area. Once arriving to the Plan Area from the treatment plant, the recycled water would be distributed through the on-site looped system.

If the Project is served by the new treatment plant, then it is estimated that it will treat and make between 334.3 and 427.8 acre-feet of recycled water per year, which would be available for exterior landscape irrigation for the Project.

In addition, any excess recycled wastewater may be used to irrigate a vineyard on the 11 acre property to the east of the Plan Area. Treated wastewater may also be available for landscape irrigation outside the Plan Area, but will require finding a site or sites that will receive treated wastewater and installing the offsite water main from the Plan Area to the receiving sites. Under this option, the use of reclaimed wastewater for exterior irrigation reduces the amount of domestic water that would otherwise be used on the Plan Area and reduce the surplus treated water that would be sent to off-site locations.

The Project's system would be designed to return virtually all of the recycled water to Zone 6 for beneficial use. Water produced by the new plant could be held in the storage pond and returned to Zone 6 as a managed resource. The water could be discharged by several means, including additional subsurface percolation in open space and parklands in the Plan Area, and metered discharge to percolate in the Santa Ana Creek Basin within and to the benefit of both Zone 6 and Zone 3.

The proposed wastewater plant is a few hundred feet from the point where Santa Ana Creek enters the Zone 6 boundary. Water from the plant could be piped directly to the boundary of Zone 6 and thus no water would be used outside of Zone 6. Alternatively, the water could be retained at the plant site and discharged to the creek overland. A small amount of water would percolate in this area, but would flow underground to Zone 6 a few hundred feet to the north. The losses would be minimal. It is also proposed, if acceptable under SBCWD rules, to use approximately 25 acre-feet to irrigate a new 11 acre vineyard near Santa Ana Creek in Zone 6.

In the winter months when irrigation is impractical the surplus wastewater would be stored in a nearby storage pond constructed for this purpose. The required size of the storage pond depends on the quantity of effluent from the plant and the number of days required by the RWQCB for storage during the rainy season.

The final design of the treatment plant which shall be prepared by the Developer and approved by the County as part of the application for the first Small Lot Final Subdivision Map (with "buildable" lots). It is anticipated that, assuming a minimum average effluent from the plant of 0.38 mgd and 60 day storage requirement, the required ultimate capacity would be approximately 65 acre-feet. (For 90 days of storage, a 100 acre-foot pond would be required.) The slopes from existing ground to the pond bottom would be a maximum of 3:1, with the shoreline designed to meander, making the ponds more aesthetic. The maximum depth would be approximately 20 feet.

The storage pond would be landscaped to provide a natural appearance. It would also have a security fence if required by the Regional Board. The pond(s) may be aerated to prevent algae growth and

odor (see Article 8, for Recycled Water Infrastructure Phasing).

On-Site Wastewater Collection System

Irrespective of the disposal alternative selected, the on-site collection system shall include a network of 8 inch lines located in easements along Fairview Road and internal collector streets. Wastewater generated by development on the west side of the Plan Area will gravity flow to the northwest corner of the Plan Area. Effluents east of the north-south ridge will gravity flow to the trunk line on the north property edge. A higher elevation ridge naturally separates the west and east portions of the Plan Area near the north edge of the Plan Area.

In the event the Property Owners implement the City of Hollister option as anticipated, wastewater would gravity flow to the intersection of Fairview Road and Hillcrest Road. A new sanitary sewer will be constructed from Fairview Road and Hillcrest Road approximately 1,100 linear feet westerly to an existing 10 inch City of Hollister sanitary sewer.

In the event the Property Owners implement the new treatment plant option, flows collected on the north-west portions of the Plan Area will be pumped east along the northern boundary of the Plan Area to a point just east of the Pacific Gas and Electric (PG&E) power line, then continue by gravity flow to the treatment site on the east boundary.

6.9. Storm Drainage

The Project's storm drainage system shall be designed to prevent off-site impacts or on-site flooding as a result of development. As part of the application for the first Small Lot Final Subdivision Map (with "buildable" lots), the Developer shall prepare a Storm Drain Master Plan to the satisfaction of the County Director of Public Works. The system shall be developed in accordance with the Storm Drainage Master Plan, (as may be amended). At minimum, the Storm Drain Master Plan shall identify the size, location and timing of all major drainage facilities proposed for the Project including backbone storm drain mains and detention facilities. The Project's system shall include a combination of off-site improvements and on-site improvements including swales, storm drains, culverts, inlets and detention basins.

A review of Federal Emergency Management Agency Flood Insurance Rate (FEMA FIRM) Map 06069C0205D Panel 0205D, dated April 16, 2009, indicates that no part of the Plan Area is within a 100 year flood plain. Under current conditions, the Plan Area includes 2 primary drainage areas, and a very small portion of a third drainage area. All waters ultimately drain from the Plan Area to Santa Ana Creek.

Under Project conditions, the Plan Area will contain three major drainage areas. Storm water flows for the drainage areas shall be collected by underground street pipes or open surface channels, and shall be collected in at least two detention basins. Detention basin volumes shall collect the difference in flows between 10 year predevelopment flows and 100 year post development flows. Basin release rates shall be metered at 10 year predevelopment flow rates.

FIGURE 6-1 STORM DRAINAGE AREAS



Drainage Area A contains approximately 170 ± acres of the eastern portion of the Plan Area and will generally flow north towards Mansfield Road. The drainage will be collected in an 11 ± acre-foot detention facility located along the middle of the

northern boundary of the Plan Area with a metered release into its historical drainage path north of the Plan Area.

Drainage Area B will contain approximately 100 ± acres and will generally drain to the north west corner of the site. The post development flows would be collected in an 11 ± acre-foot detention basin that would have a metered release to the existing roadside swale that drains north on Fairview road and eventually discharges to Santa Ana Creek approximately 3,600 feet north of the Plan Area.

Drainage Area C consists of approximately 30 ± acres in the southwest corner of the site. The flows from this drainage area will be collected in a small detention area (0.5 ± acre-feet) and released into the existing 36 inch pipe that crosses Fairview Road near the CDF facility and flows west, through an existing subdivision to a branch of Santa Anna Creek approximately 2,500 feet west of Fairview Road. The Project shall contribute to needed off-site improvements through payment of the applicable storm drainage fee.

Runoff for a portion of Fairview Road will drain into a roadside swale flowing north and eventually reaching Santa Ana Creek approximately 3,600 feet north of the Plan Area. Detention basin storm water metered flows may be discharged into the roadside swale as well. Grading or clearing may be needed to improve the swale's performance. Improving the swale's outfall into the Santa Ana Creek may also be needed. See Article 8 for Storm Drain Infrastructure Phasing.

6.10. Dry Utilities

Electricity and Natural Gas

Currently, PG&E provides electricity and natural gas to the Plan Area.

Electricity and natural gas service will be provided to the Project by PG&E, consistent with its long-range plans to accommodate County growth. There are two existing PG&E high-pressure (590 pounds per square inch) natural gas lines extending from Topock in Southern California to Milpitas, which crosses the northeast portion of the Plan Area. Existing electric power lines run along Fairview Road. Final design of the electricity and natural gas

delivery systems to the Plan Area shall be reviewed and approved by PG&E in connection with development of each phase of the Project.

Telephone

Telephone service within San Benito County is currently provided by Southwestern Bell Corporation (SBC). Expansion of telephone main feeder lines and distribution lines to individual tracts shall be installed by the Developers to serve that portion of the Project as development of each phase occurs. The Developers shall dig trenches and provide PVC conduit from each unit to the service box at the property line as required.

In order to facilitate the opportunities for home occupations and telecommuting, the Developers shall work with the telephone service provider to ensure that the Project is designed to accommodate a technologically advanced communications system to accomplish these objectives, which is anticipated to include the provision of high capacity communications for voice, data and fax transmission from each home and business in the Plan Area.

Cable TV

Currently, Charter Communications provides cable television service to the Plan Area.

The Project's cable television service will be provided by a cable television service provider to be determined at the time service is required to ensure the highest level of service is provided and to be responsive to potential changes in the structure of cable and telephone service providers.

6.11. Public Facilities and Services Policies

In addition to any other standards, requirements and guidelines set forth herein, the following policies shall be implemented with development of any property within the Plan Area:

1. School and public park sites shall be linked to the pedestrian and bike path system. The final design and location of these paths and the connections to the pathway system shall be determined during the Tentative Map process for specific Neighborhoods.

2. The Developers shall work with the County and the Hollister School District to explore possibilities for a joint use agreement for the Community Park site adjacent to the proposed elementary school site.
3. The school site designated in the Plan Area shall be reserved for purchase by the Hollister School District in compliance with the requirements of the California Subdivision Map Act and any agreement between the Developers and the School District.
4. Parks shall be designed to facilitate surveillance by adjoining residents, security services and police.
5. Parks shall be constructed by the Developers of each Neighborhood within the Plan Area in accordance with the provisions set forth herein.
6. Neighborhood Parks shall be developed concurrently with development of the Neighborhoods in which they are located.
7. The Developers shall offer to dedicate all parkland and related improvements identified in this Specific Plan to San Benito County in accordance with the provisions of applicable law.
8. All wastewater generated within the Plan Area will be treated to tertiary or an equivalent level of treatment, as determined necessary by the Central Coast Regional Water Quality Control Board.
9. The Developers shall provide areas on-site to facilitate recycling within the Neighborhood Commercial center. Residential areas will be served by curbside recycling provided by Norcal Waste Systems. Where curbside pick-up is not practical, conveniently located centralized recycling storage and collection facilities will be provided.
10. All new electrical, telephone and cable services within the Plan Area shall be placed underground. Existing lines and cables should also be undergrounded where appropriate and financially feasible.

11. Public utilities, such as transformers, terminal boxes, meters, fire risers, backflow preventers and other similar facilities, shall be screened and oriented away from public view except as otherwise required by the County or public utility companies.
12. As determined appropriate by the County, the Developers shall work with the County to form a County Service Area (CSA), Lighting and Landscape Maintenance District or other appropriate financing mechanism to provide a funding source for on-going operations and maintenance of the services, facilities and infrastructure that are needed to serve the Project, including, without limitation, streets, street lighting, landscaping and Parks.

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ARTICLE 7. DESIGN GUIDELINES

The overall quality of design of the Project shall be ensured by the implementation of Design Guidelines applied consistently throughout the Plan Area. These guidelines provide a framework for neighborhood planning, architecture, circulation, landscaping, and signage.

This section of the Specific Plan sets forth the Design Guidelines for the Project, which is intended to guide the design of the Project while still maintaining the necessary flexibility. All areas developed within the Plan Area shall comply with the Design Guidelines set forth in this Article 7 Design Guidelines.

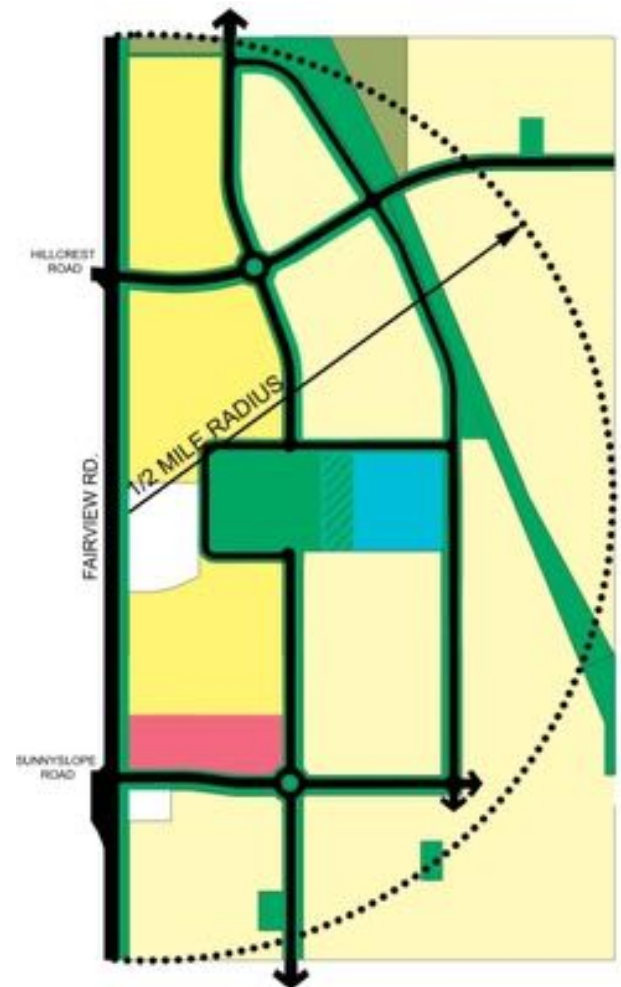
The basic objectives of the Design Guidelines are to:

- Assure high quality community character and land use compatibility.
- Establish a strong identity for the Plan Area.
- Support energy and water conservation.
- Support pedestrian access and circulation.

7.1. Community Design Guidelines

The Santana Ranch Project will constitute a new community. It will be compact, consisting of approximately 12 residential Neighborhoods of varying densities clustered around a Neighborhood Commercial center. At one mile long and one-half mile wide, the Plan Area is small enough that residents can easily walk from the furthest residence to the community core (see Figure 7-1 ½ Mile Radius Map). The core will be composed of the elementary school, Community Park, and Neighborhood Commercial center.

FIGURE 7-1 ½ MILE RADIUS MAP



It is anticipated that the Community Park and elementary school will be grouped together in a centralized location to allow safe and convenient access for children and residents. The Neighborhood Commercial center is adjacent to Fairview Road to allow access from outside the Plan Area and to minimize the traffic flow into the residential Neighborhoods.

With 1,092 dwelling units and an estimated 3,549 residents, the Project will offer a diversity of housing types while keeping the scale of a small Neighborhood community.



The compact form, distinct Neighborhood Commercial center, and mix of uses naturally establish a distinct identity for the community. The Design Guidelines also help establish common area landscape features that define the character and identity of the community. Following are Community Design Guidelines that shall be implemented in the development of the Project:

- Each residential Neighborhood within the Plan Area shall have theme signs and gateway landscape elements that serve as minor landmarks to identify the Neighborhood. The Design Guideline for these entry elements is provided in Article 7, Section 7.2. of this Specific Plan.
- Each Single Family Residential (R1-SR) Neighborhood shall include or be in close proximity to a public park. Each Residential Multiple (RM-SR) Neighborhood shall be in close proximity to a public park or include a private recreational amenity. The Parks are intended to serve as the centerpiece of the Neighborhoods as well an “outdoor living room” for the residents. It is intended that the residences will be oriented toward the Parks. It is anticipated that the Parks will generally front on a residential street to provide for visibility and access by Neighborhood residents.
- The internal street system shall be designed to allow residents to walk easily to their Neighborhood Park and shall provide access to

the pedestrian corridor system. The street system shall be designed to carry Neighborhood traffic easily from peripheral streets to residences, and shall discourage non-resident through traffic. This is intended to minimize unnecessary vehicle traffic and thereby make the Neighborhoods safer for pedestrians and bicyclists, particularly children.

- Each residential Neighborhood should be oriented with the dwelling units facing toward a local residential street, residential collector, courthomes or pedestrian way.
- Driveway access shall be restricted on Sunnyslope Road and Hillcrest Road, between Fairview Road and Park Center Drive, to minimize conflict between driveways and through traffic.
- The Neighborhood street pattern and dwelling unit orientation should be used to optimize solar access. Dwelling unit design that incorporates solar energy for heating and cooling and provides domestic water heating are substantially dependent on the orientation of the street system and dwelling units. In general, it is desirable to orient the residential streets on an east-west axis so that the largest mass of the roof plane is oriented to the south and not shaded by adjacent structures. The Plan Area is easily adapted to this form of street pattern, and the Project shall implement it accordingly. The collector streets (Fairview Road, Park Center Drive and Orchard Park Road) shall be oriented on a north-south axis, which will allow the connecting local residential streets to be oriented east-west. The alignment and spacing of the major streets shall be designed to accommodate the predominant orientation of residential streets to be east-west. In addition to street orientation, the dwelling units should be strategically placed, as feasible, to optimize solar access.
- Pedestrian access connections within Neighborhoods to the sidewalks along Fairview Road and the collector streets shall be required at intervals of not more than 800 feet as described in Article 4, Section 4.4. of this Specific Plan. A Neighborhood street intersecting the collector or arterial street shall provide a pedestrian connection. The location

of pedestrian access connections shall be located near transit stops to facilitate the use of public transit. Where required, the pedestrian path connection from the Neighborhood to the adjacent pathway system shall be shown on the Tentative and Final Subdivision Maps.

- The bike/pedestrian corridor in the Linear Park shall provide a setting for orienting residences toward a permanent open space. Although lots backing onto the Linear Park will be permitted, the preferred orientation is to the front or side of dwelling units to the park. Solid fences shall be permitted for privacy, but open fences are encouraged. The orientation of dwelling units and the location and type of fences next to the Linear Park shall be considered in the subdivision map review process.

7.2. Landscape Design Guidelines

The Landscape Design Guidelines form the framework for landscape throughout the Plan Area. As part of the application for the first Small Lot Final Subdivision Map (with “buildable” lots), the Developer shall prepare a Landscape Master Plan to the satisfaction of the County Director of Planning. This Landscape Master Plan (as may be amended) shall govern development of the Project and shall include, at minimum, the following components:

- Primary and secondary street trees.
- Shrubs and ground cover.
- Planting and irrigation plan for the area in which the subdivision is located.
- Street lighting.
- Sidewalk location and standards.
- Street furniture type and placement.
- Fence and/or wall design and details along Orchard Park Road, Sunnyslope Road, Fairview Road, and Hillcrest Road.
- Project entry features and signage program.

The Landscape Master Plan shall be consistent with the Landscape Design Guidelines described in this Article. These guidelines for the landscape elements in this Specific Plan are intended to establish the overall appearance and the identity of the Project by requiring similar landscape components for all the common areas.

The Project’s landscaping shall:

- Provide identity for the Project and emphasize specific locations and features.
- Establish and reinforce the sense of pedestrian scale in areas intended for pedestrian use.
- Avoid landscaping that would create “hiding” places within the streetscape and open space areas.
- Screen walls and fencing and utility equipment, preferably with natural screening.
- Filter contaminants in urban runoff before the water reaches natural water courses.
- Plant materials and planting configurations that is attractive and easy to maintain.
- Conserve water through use of drought-tolerant and native plantings and water conserving irrigation systems.

FIGURE 7-2 CONCEPTUAL LANDSCAPE MASTER PLAN



Typical Landscape Corridors

The typical configuration for landscape corridors shall include turf between the back of curb and the sidewalk and low shrubs, mulch or other ground cover between the back of walk and the edge of the landscape corridor. A wall or fence shall define the back edge of the corridor next to residential uses. Where no wall is required the landscape edge shall be defined by a 6 inch wide concrete mow strip.



The primary street trees shall be located in the turf area between the curb and sidewalk. Secondary and accent trees shall typically be located behind the sidewalk, but may be integrated with the primary street trees. Where street sections include attached sidewalks, primary street trees shall be located behind sidewalks.

Specifications for street tree planting shall include the incorporation of measures to discourage curb, gutter, and sidewalk upheaval including root barriers, deep watering devices, etc.

Primary Street Trees

Primary trees shall provide:

- A broad shade canopy over the street.
- A sense of order and cadence along the street.
- Seasonal color accent.
- Scale and definition to the streetscape edge.

Primary street trees shall be:

- The dominant element in the street scene.
- Deciduous, broadleaf species.

- Native to the area to the extent possible.
- Drought-tolerant when established.
- Spaced according to size, an average of 30 feet to 40 feet apart.



- Planted from a minimum 15 gallon container.
- Planted in a regular linear fashion, set back from the curb far enough to accommodate their ultimate growth (and/or at a sufficient distance appropriate to the particular species and to allow for future trimming of mature trees, to provide vertical clearance for truck traffic along the street).
- Appropriate tree species should be selected to fit the spatial requirements of the street planter strips. Where necessary, root barriers, deep watering tubes, and other means to discourage root intrusion should be utilized.

Secondary and Accent Trees

Secondary and accent street trees shall be used to add contrast and background to the linear plantings of primary street trees. Secondary trees that provide color and form accents should be used at Neighborhood entries and to create points of interest along the street corridor.

Secondary and accent trees shall be:

- Planted in informal fashion as determined by space and tree species, set back from the curb

far enough to accommodate their ultimate growth (and/or at a sufficient distance appropriate to the particular species, to allow for future trimming of mature trees and to provide vertical clearance for truck traffic along the street).

- Appropriate tree species should be selected to fit the spatial requirements of the street planter strips. Where necessary, root barriers, deep watering tubes, and other means to discourage root intrusion should be utilized.
- Distinctive in form and/or color.
- Complementary to the form of the dominant street trees.
- Planted from a minimum 15 gallon container.
- Spaced according to size, an average of 30 feet to 40 feet apart.

Shrubs

Shrubs shall be:

- Planted in irregular masses or in a linear fashion.
- A minimum 1gallon container.
- Selected according to size, color, texture, and seasonal interest.
- Placed to not obstruct important pedestrian or vehicular sightlines or threaten the safety of pedestrians.
- Native and drought-tolerant to the extent feasible.

Turf and Groundcover

Groundcover selection should consider the overall pedestrian use of the area. If the area is intended for active pedestrian use, such as in the Parks and pedestrian corridors, then lawn type groundcovers should be used. In areas that will not receive active pedestrian use, such as along major streets, both lawns and foliage type groundcovers may be used.

- Turf is the preferred groundcover in greenway strips between sidewalk and curb, on arterial and collector streets, and may also be emphasized in other portions of required landscaped corridors.
- Where turf areas are hydro-seeded, strict weed abatement measures shall be specified.
- Install turf that requires low-water usage, such as tall fescue varieties.
- Turf and groundcover areas shall be defined with concrete mow strips.
- Turf may be installed in areas with slopes of 3:1 or less. Groundcover is to be installed on steeper slope areas.
- Drought-tolerant groundcover and native species are encouraged.



Inorganic Groundcover

A variety of inorganic groundcovers are encouraged as accents to reduce maintenance and irrigation. These may include bark, crushed stone, cobble and larger stones.

- Mulch may be Idaho shredded red fir walk-on bark, sized for fire resistance. Mulch shall be layered 2 inches over finish grade in shrub and groundcover areas.
- Native or native-type boulders, 2 to 5 feet in diameter or larger, may be placed within landscape corridors as accent landscape elements.

Earth Berms, Mounds and Slopes

Earth berms and mounds are permitted within landscape corridors so long as the following guidelines are implemented.

- Earth berm and mound slopes should not exceed 3:1, and should be configured to direct drainage towards the drainage collection system.
- A 2 foot wide level bench shall be required at the back of sidewalk.
- A 1 foot wide level bench shall be required at the back of curb.

Sidewalks

Concrete sidewalks and trails shall be located within landscape corridors along arterial and collector streets. Depending on the street section chosen for a particular street segment, either sidewalks, Class I trails, or a combination of both may be used in a landscape corridor.



- Unless otherwise noted sidewalks shall be 5 or 6 feet wide. Class I trails shall be 8 feet to 12 feet wide.
- The sidewalk alignment shall be essentially linear with a slight meandering permitted for aesthetic effect and to avoid native trees. The linear design is intended to make the path easier to use by pedestrians.

Irrigation

Material, irrigation system design, and landscape applications for development within the Project shall conform to the San Benito County Water Conservation Plan (as it may be amended). This conservation plan provides guidelines to deal with water shortage conditions which often exist within part of California, including San Benito County. The Water Conservation Plan requires water-conserving fixtures and practices, including water efficient landscape plans utilizing drought-tolerant plant materials. The irrigation system should



include technology to detect water moisture, ET rates, and computer systems to maximize landscape water conservation.

The Water Conservation Plan’s provisions for new landscapes include a “maximum allowable water budget” based upon the area’s average year climate and the size of the landscaped area. The basic formula for calculating a project’s maximum allowable water budget is:

$$MAWB = (ET_o) (0.8) (LA) (0.62)$$

MAWB = maximum allowable water budget expressed in gallons per year

ET_o = 45.1 inches/year reference evapotranspiration for Hollister

0.8 = allowable percentage of water budgeted for landscape per year

LA = landscape area requiring irrigation in square feet

0.62 = conversion factor to calculate MAWB in gallons per year

The Water Conservation Plan encourages a developer to design a landscape plan that requires less water than the project’s maximum allowable water budget whenever possible. The following formula represents an estimate of the Project’s annual landscape water use under the Water Conservation Plan. It is based upon the area’s average year climate, the size of the landscaped area, the mix of plants selected, and the efficiency of the irrigation system.

TABLE 7-1 ESTIMATED IRRIGATED LANDSCAPE AREA

Land Use	Acres +/-
R1-SR (774 Units) (1,700 sq. ft.) ⁽¹⁾	30.2 Ac
RM-SR (318 Units) (1,000 sq. ft.) ⁽²⁾	7.3 Ac
Neighborhood Commercial (5.8 Ac)(20%)	1.2 Ac
School (8.0 Ac)(60%) ⁽³⁾	4.8 Ac
Parks, Open Space & Roadway Landscape	43.5 Ac
Total	87.0 Ac

Footnotes:

- (1) Assumes 1,700 square feet landscape per residence.
- (2) Assumes 1,000 square feet per residence.
- (3) Assumes 60 percent landscape coverage.

$$EWU = (ET_o) (KI/IE) (LA) (0.62)$$

EWU = estimated water use expressed in gallons per year

ET_o = 45.1 inches/year reference evapotranspiration for Hollister

KI = landscape coefficient: estimated water use of selected group of plants

IE = 0.65 irrigation efficiency: design efficiency X management efficiency

LA = landscape area requiring irrigation in square feet

0.62 = conversion factor to calculate MAWB in gallons/year

The landscape coefficient (KI) is an aggregate plant factor based upon the estimated water use of a plant or group of plants. The Water Conservation Plan requires a coefficient of 0.3 for low water use, 0.5 for average water use, and 0.8 for high water use. The minimum irrigation efficiency factor (IE) allowed by the Water Conservation Plan is 0.65. Greater irrigation efficiency can be expected for large, flat, simply designed irrigation system such as athletic fields. Based upon the landscape plan, the maximum allowable water budget for the Santana Ranch Specific Plan is 260 acre-feet. This budget was calculated as follows:

$$MAWB = (45.1) (0.8) (3,789,720 \text{ sq. ft.}) (0.62)$$

$$EWU = (45.1) (\text{landscape coefficient varies between } 0.2 \text{ and } 0.8 \text{ depending on the type of plants} / 0.65) (3,789,720 \text{ sq. ft.}) (0.62)$$

Estimated Water Use

The estimated annual landscape water use for the Project is 190 acre-feet. This budget was calculated on the assumption that the plant mix would include:

- 10 percent high water using plants
- 15 percent average water using plants
- 75 percent low water using plants

The estimated annual water use of 190 acre-feet with this plant mix is less than the maximum allowable water budget of 260 acre-feet per year.

Street furnishings (including benches, trash receptacles, bollards (posts), planters, bus shelters, trellises, entry signage and other similar amenities) shall be permitted within landscape corridors provided placement does not interfere with clear vision standards for street intersections or pedestrian movement along the sidewalk.



- The design of street furnishings should match or compliment the design of surrounding elements including other furnishings, walls, fences, and building architecture.
- Street furnishings are to be low maintenance.
- Metal components of street furnishings shall not be exposed such that they become harmful in high temperatures.
- Lighted features including but not limited to lighted bollards, lighted shelters, back-lighted planters, accent lighted wall surfaces and signs, shall be permitted, provided light sources are low level and screened from adjacent streets, walkways, and homes.
- Bus stops should include a permanent, covered structure that provides all year protection, and should be designed as an element that is repeated throughout the Plan Area Neighborhoods. The bus shelters shall be oriented to protect users from prevailing western winds and rains.
- Benches should be of a single style. Permanently mounted in high use public areas, such as parks or along parkway paths, benches should be located to maximize public comfort. Benches should have backs but, as a variation on the general style, backless benches may be used as well.
- Placement of artwork such as sculptures, murals, water elements, carvings, frescoes, mosaics, and kinetic art is strongly encouraged. Design of artwork should incorporate materials sufficiently durable to withstand vandalism and existing weather conditions while not requiring excessive maintenance.



Street Lighting

Residential street lighting shall occur at intersections and at intervals on opposite sides of the street as required by County street lighting standards. Residential light posts and fixtures within residential Neighborhoods will be decorative and should be consistent with the architectural style of the adjacent structures. Conventional “Cobra” type of electroliers may be used along Fairview Road if necessary.

Planting shall be restricted within the zone of light for street lights in conformance with the following standards:

- “Zone of light” is defined as a triangular area with two points located at 100 feet from both sides of a lighting fixture (not the light post) and 10 feet out from the top back of curb and one point at the lighting fixture.
- No planting of shrubs or trees which grow to a height greater than 4 feet at maturity are to be planted within the zone of light.
- Trees planted outside of the clear area should have not more than 20 percent of their canopy encroach within the zone of light, based on the expected size of the trees at maturity.



Walls and Fences

Masonry Walls

Masonry walls shall be located at the back of the landscape corridor along Fairview Road. The landscaping shall be the dominant element in the corridor, rather than the wall. Therefore, the wall shall be a simple design that is intended to eventually be screened by the landscape materials. The appropriate designs include a simple, attractive wall surface pattern, detailing to articulate the wall cap and columns or pilasters to mark the wall ends and changes in direction. The following additional guidelines shall apply to all development within the Plan Area:

- If noise studies conducted in connection with an individual development indicate the need for sound barriers taller than 6 feet, such barriers shall consist of a combination of natural berms and soundwalls.
- Masonry walls shall be constructed of prefabricated concrete panels or site built, hand laid masonry blocks.
- Wall materials shall have a textured face such as cast patterns, split faced, comb-faced or stucco finished.
- The base of walls shall be landscaped with a creeping vine that ultimately covers the wall on the arterial street side.
- Masonry walls shall have a masonry or architectural cap made of complimentary masonry or precast concrete. The cap shall extend over the wall a minimum of 2 inches to create a reveal detail and shadow line along the top of the masonry.



- Pilasters or columns in masonry walls shall be used at each side of vehicular entrances and pedestrian portals to visually define openings, and at each angle point (change in direction) to enhance wall aesthetics.
- Pilasters and columns shall be constructed of materials complimentary to the masonry wall. Acceptable materials include masonry block, brick, stone, cobble and stucco finish. The pilaster material and design shall be consistently applied throughout the perimeter fences within individual subdivisions.
- Pilasters and columns shall have sufficient bulk and dimension to appear in proportion to the height and mass of the masonry wall. Pilasters and columns shall not be less than 24 inches in any dimension at the base and may be circular or square.

Enhanced Wood Fences

Enhanced wood fences or masonry walls shall be constructed where lots back or side toward Hillcrest Road, Sunnyslope Road, Park Center Drive and Orchard Valley Road. The following additional guidelines shall apply to all development projects within the Plan Area:

- The minimum height along all residential collectors shall be 6 feet. Enhanced wood fences may be placed on a berm not more than 24 inches above the elevation at the back of the adjacent sidewalk.
- Fence sections shall be 8 to 10 feet in length separated by a 4 by 4 post.
- Pilasters or columns shall be used in enhanced wood fences at each side of Neighborhood vehicular entrances and pedestrian paseos to visually define openings, and at each angle point (change in direction) to enhance wall aesthetics.
- Pilasters and columns shall be constructed of materials complimentary to the wood fence. Acceptable materials include masonry block, brick, stone, cobble and stucco finish. The pilaster material and design shall be consistently applied throughout the Plan Area.
- Enhanced wood fences are to be of redwood construction, and if painted or stained, should be a neutral color.
- Fences at intersections shall be placed such that adequate sight line distances are maintained.

Solid Wood Fences

Substantial wood fences shall be constructed where solid fences are permitted next to parks and the adjacent undeveloped open space. The following guidelines for substantial wood fences shall apply to all development within the Project:

- The minimum solid wood fence height adjacent to parks and open space shall be 6 feet.
- In no case shall a fence, including lattice tops, be over 7 feet high.



- Fence sections shall be 8 to 10 feet in length separated by a 4 by 4 post.
- Substantial wood fences shall be of redwood construction, and if painted or stained, should be a neutral color.
- Fences at intersections shall be placed such that adequate sight line distances are maintained.

Open Fences

Open fences may be used next to the open space areas along the rear and side property line of residential parcels.



- Open fencing shall be 4 to 6 feet in height construction of tubular steel, mesh or wrought iron or other types of open fencing.

- Mesh fencing shall be black vinyl coated.
- Open fencing may include an 8 inch to 24 inch “Knee wall” to provide a barrier at the ground level.
- Brick or other masonry pilasters or columns may be used as an optional detail with open style fences.
- Natural fencing or “live walls” may be used to define ownership boundaries or provide visual barriers but should not be used in the place of solid or open fencing for private yards or safety fencing.

Bollards

Bollards (posts) may be placed to control vehicular traffic and pedestrian flow around parks.

- Bollards may be used along the street edge next to parks to restrict access of dirt bikes and motorized vehicles.

Plan Area Entry Features

The entrance to the Plan Area from Fairview Road at Hillcrest Road and Sunnyslope Road may be marked by a landscaped entry feature.



- Entry feature landscaping shall include deciduous foreground trees selected for flowering or fall color habit, accent shrubs and groundcovers. Decorative paving may be used to provide a small plaza area next to the sidewalk.

- Entry features shall be installed by the adjacent parcel developer at the time landscape corridor improvements are constructed.
- Alignment and minimum geometric standards shall be developed and represented at the Large Lot Tentative Map or first Small Lot Tentative Map (with “buildable” lots) stage and to the satisfaction of the County’s Public Works Director and Fire Marshal.
- A 12 foot radius clearance of trees and shrubs is required from all underground manholes and surface-mounted telephone terminals.
- Water from sprinklers and its runoff into manholes is to be minimized.
- Where trees are proposed to be planted within 3 feet from outside of utility trenches, root barriers may be installed to avert root intrusion.
- Screening walls are required around all surface mounted electrical equipment with an 8 feet clearance where a slope exists.

Subdivision Entry Features

Subdivision entry features may be located along Hillcrest Road, Sunnyslope Road and other collector streets at the primary entry to individual residential Neighborhoods. The following guidelines shall apply to all development within the Project:

- Landscaping in the subdivision entry may include accent trees, colorful annual plants, signage and other special landscape elements such as enhanced paving and seating areas.
- Subdivision entries shall include median entry islands with landscaping consistent with the adjacent entry feature.
- Subdivision entries shall be constructed by the developer of the subdivision in which they are located.
- Alignment and minimum geometric standards shall be developed and represented at the Large Lot Tentative Map or first Small Lot Tentative Map (with “buildable” lots) stage and to the satisfaction of the County’s Public Works Director and Fire Marshal.
- The location and style of Neighborhood identity signs shall be consistent throughout each Neighborhood.

Landscaping in Public Utility Corridors

Landscaping is restricted within the Bureau of Reclamation easement along the east side of Fairview Road and in the Pacific Gas and Electric (PG&E) easement in the east side of the Plan Area. Within these corridors, landscaping shall conform to standard requirements established by the respective utilities.

Landscaping in Parking Lots

The landscape character of the street corridors should be extended to the parking areas in any commercial areas and the school to visually integrate the public areas and enhance the visual quality of the circulation network. The following guidelines shall apply to all development within the Project:

- Trees shall be installed in a manner that will retain safe sight lines for both pedestrians and motorists.
- Shade trees shall comprise the majority of all trees planted within the parking areas of the Neighborhood Commercial center. Trees should provide a 50 percent shade canopy within 15 years of planting.
- 6 inch high concrete curbing should be used in all planting and landscaped areas in the Neighborhood Commercial center. The 6 inch curb may also be used as a wheel stop.
- Shrubs selected for use adjacent to automobiles should be resistant to exhaust, radiator fluids, and the reflected heat of hardscaped surfaces. In parking areas, shrubs should be massed in groups, be water conserving, and require low maintenance.



Landscaping in Detention Basins

Detention basins shall be landscaped to provide a visual amenity. Appropriate groundcover may include turf and other materials that can withstand occasional flooding and periodic foot traffic within basins where access is not restricted. Trees may be included in the landscape plan, but should not be placed such that they would interfere with the drainage control function of the basin. Trees may be used to screen or frame views to and from the basin, to define special use areas, perimeters and focal points, and to provide shade (see Article 6, Section 6.4. of this Specific Plan for more information regarding detention basin use).



7.3. RESIDENTIAL DESIGN GUIDELINES

The following residential Design Guidelines will ensure the quality of design of individual dwelling units while promoting diversity and interest in the subdivisions that make up the Project.

7.3.1. Single-Family Residential (R1-SR) Design Guidelines

Residential architectural styles will vary between and within the Neighborhoods. There is no intent to establish a universal design standard in the Project. Rather, the intent is to allow the individual subdivisions to establish their own architectural identity. This is done to avoid creating a bland environment where sameness of the residences makes it difficult to tell where one is standing in the Neighborhood. Elements common to the overall development, such as the streetscape designs, landscaping, signage and the community facilities, will provide the framework that reinforces the overall consistent, high quality of the community image. The intent is to provide for diversity in residential architecture. For subdivisions within the R1-SR Neighborhoods, design review applications for each subdivision may be processed concurrently with Tentative Maps (see Design Review and CUP process outlined in Article 8, section 8.1.6.).



Building Massing

- Front porches are encouraged on detached residential units.
- Wrap-around porches and/or patios defined by a low wall are encouraged on corner lots to provide visual interest on both street elevations.

- Where building elevations other than the front (street) elevation are visible from a side street, park, or other public area, these visible elevations should have the same level of detail and articulation as the front elevation.
- Combinations of one and two-story elements on the same building are encouraged to create visual diversity.
- Building mass should be articulated (if practical) to reflect the historical context of the architectural style.
- Architectural elements such as chimneys, balconies, porches, pot shelves and window surrounds are encouraged because these elements provide visual interest.
- Dormers, gables, eaves and other projections may be used to break up simple architectural forms.

Building Color Guidelines

- Stucco and combinations of stucco, stone and wood or materials of a wood-like appearance, having the necessary fire retardant characteristics, are encouraged for exterior surfaces.
- Use of natural materials such as wood, wood-like details and trim, and stone, rock or brick are encouraged for design accent and trim.
- Color is intended as a primary theme element, and color values should be generally light earth tones or white with darker or lighter accents encouraged to highlight the character of the structure.
- Accent color should be used for shutters, trim, fascia, balcony rails, stucco recesses, or cornice bands, and should relate to the architectural form and character of the building. All wrought iron should be black.
- Concrete, brick, stone, or other similar natural material may be used for driveway and parking areas.

Roof Form & Materials

- Simple pitched, gable, or shed roof forms should be utilized, consistent with the architectural style of the building.
- Roof pitch may vary, but generally not be flatter than a minimum of 4 inches vertical to 12 inches horizontal pitch. Shed roofs over porches or other building extensions may be lower in pitch.
- Varied plate and ridge heights should be utilized to create offsets in the ridgeline to better articulate roof forms and building massing.
- Roof colors should be neutral earth tones, except for architectural styles that require shades of gray or black.
- Roof materials should be concrete, clay, cement, tile, composition shingle or other fire resistant materials.
- Roof forms, materials and colors of garages or other detached structures should be designed to reflect the character and materials of the primary structure.

Building Elevations

- To the extent possible, building elevations should be harmonious and compatible with the design elements of the architectural style of the building.
- Each structure should have a predominant façade material or color that differentiates it from adjacent structures. This will promote individuality within the context of the Neighborhood.
- Functional covered balconies, decks, covered front porches, and other architectural detailing that reflect the style of the building are encouraged.
- Garage doors should not dominate the front elevation of the building. If visually prominent on the front elevation, garage doors are encouraged to be broken into single door entries.

- Side entry or swing-in garages are encouraged on lots that can accommodate them.

Additional Building Components

- Exposed gutters and downspouts should be painted to match adjacent roof, fascia, trim or wall colors. Patina finishes are also acceptable, including natural copper finishes.
- Gutters and downspouts should be placed so as not to detract from or compete with the architectural design of the building.
- All flashing, sheet metal, vents and pipes should be painted to match the adjacent surface. Natural copper materials are acceptable.
- Skylights may be incorporated into the roof design to provide natural light and passive solar energy. Frame color should blend with the surrounding roof color, natural aluminum frames are not allowed.
- Solar panels, if used, should be integrated into the roof design as an unobtrusive element. Panels are to be parallel to the roof plane and should be clear, bronze, or smoke colored plastic or glass.
- To the greatest extent possible, solar panels should be located away from front elevation street views.



TYPICAL R1-SR SINGLE FAMILY

Typical R1-SR Single Family Setbacks:

Front		
	Living	15 ± feet
	Garage	18 ± feet
Side		5 ± feet
Rear		15 ± feet



7.3.2. Residential Multiple (RM-SR)

Design Review applications shall be prepared for the approval of individual development areas within RM-SR Neighborhoods. The RM-SR Design Guidelines are intended to promote design innovations in development, create greater opportunities for housing and recreation, and encourage more efficient use of land and public services. For subdivisions within the RM-SR Neighborhoods, design review applications for each subdivision may be processed concurrently with the Tentative Maps.



Building Mass & Scale

- Building massing should not seem boxy, but appear to result from the combination of several compatible geometric forms. Large monolithic forms should be avoided.
- Combinations of one and two-story elements on the same building are encouraged to create visual diversity.
- One-story elements at the end of buildings, especially at street corners, diminish the visual impact of the building mass.
- Architectural elements such as chimneys, balconies, porches, pot shelves and window surrounds (consistent with the architectural style) should be provided for visual diversity.
- To the extent possible, entrances to individual units should be plainly visible.
- Units and buildings should be sited to maximize view opportunities to open spaces.
- The overall composition of buildings should incorporate proportion and rhythm among a series of unit “bays” and the overall building mass.

Materials & Colors

- Building materials and colors should be consistent with the architectural style throughout each respective Neighborhood.
- Stucco and combinations of stucco, stone, and wood or materials of a wood-like appearance, having the necessary fire retardant characteristics, are encouraged for exterior surfaces.
- Use of stucco on larger mass buildings should be broken up or mixed with other materials.
- Use of natural materials such as wood, wood-like details and trim, and stone, rock or brick are encouraged for design accent and trim.
- Color is intended as a primary theme element, and color values should be generally light tones

with darker or lighter accents encouraged to highlight the character of the structure.

- Accent color should be used for shutters, awnings, trim, fascia, balcony rails, stucco recesses, inlaid tile bands or cornice bands, and should relate to the architectural form and character of the building.

Roof Form & Material

- When a project includes more than one building, roof forms should vary from one building to the next where practicable, in order to achieve visual interest and diversity.
- Roof pitch may vary, but should generally be consistent with the architectural style. Shed roofs over porches or other building extensions may be lower in pitch.
- Roof colors and composition should vary within a neighborhood to add visual diversity.
- Roof colors should generally be a neutral earth tone, avoiding high-contrast colors such as red, oranges or ceramic blue.
- Roof materials should be concrete, clay, cement, tile, composition shingle or other fire resistant materials.
- Roof forms, materials and colors of garages or other detached structures should be designed to reflect the character and materials of the primary structure.

Building Elevations & Sitting

- Functional covered balconies, decks, covered front porches, and other architectural detailing that reflect the style of the building are encouraged.
- Use offset window, door, and exterior deck placement to preserve visual privacy.
- Site buildings should take advantage of open space views, courtyard open spaces or private recreational facilities.

- Street facing elevations on attached products shall have additive or subtractive elements to help break up the mass of the building façade. Additive elements include dormer windows, porches, bay windows, and exterior stairs. Subtractive elements include carved openings, niches, windows and doors.
- Where building elevations other than the front (street) elevation are visible from a side street, park, or other public area, these visible elevations should have the same level of detail and articulation as the front elevation.
- Units located adjacent to streets may face onto the street, or may be grouped around a central green in a configuration which as a whole fronts the street.
- When units front onto a street, the primary facades and building entries should orient to the street.
- Street oriented windows should be well articulated and upper story (above first floor) windows should have a vertical dimension equal to or greater than the horizontal dimension.
- Long rows of garages should be avoided except in the case of alley loaded products, garden townhomes, or other such product types that separate garages from primary dwelling unit entries. “Stand alone” garages and parking spaces should be distributed throughout a development to ensure that each unit’s assigned parking is reasonably close to the unit.
- Guest parking should be distributed throughout the development and clearly identified.

Additional Building Components

- Exposed gutters and downspouts should be painted to match adjacent roof, fascia, trim or wall colors.
- Gutters and downspouts should be placed so as not to detract from or compete with the architectural design of the building.
- All flashing, sheet metal, vents and pipes should be painted to match the adjacent surface.
- Skylights should be incorporated into the roof design to provide natural light and passive solar energy. Frame color should blend with the surrounding roof color; natural aluminum frames are not allowed.

Parking Lots & Garages

- Parking lots should be designed and lighted to ensure pedestrian safety.

RESIDENTIAL MULTIPLE PRODUCT TYPES:

The residential product types allowed within the RM-SR areas may include single family residential or multi-family residential products, as described further below.

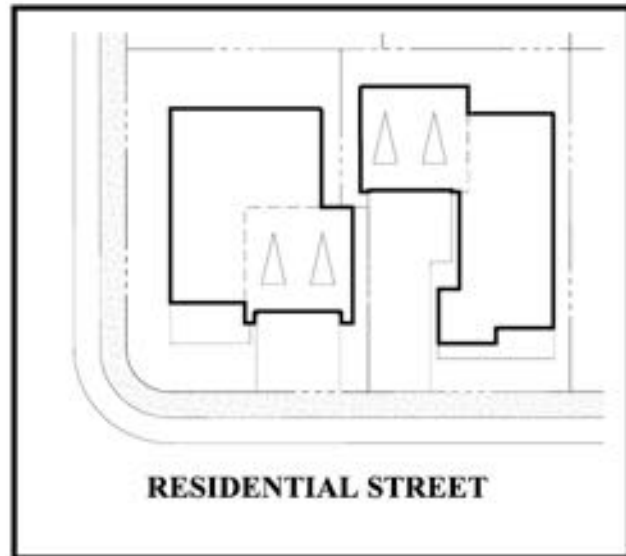
SMALL LOT SINGLE FAMILY DETACHED



Definition

- Lots less than 5,000 square feet. Including product types such as: conventional single family detached small lots; 2-pack/zipper lots; zero lot line; courthomes, etc.
- Individual lots, typically with street frontages (except courthomes).
- One dwelling per lot.
- Front, rear, and side setbacks (one side setback may be 0 feet). Setbacks to be determined at Design Review stage.
- Private rear yards.
- Resident parking on individual lots (generally in garages).
- Flag lots are allowed within the Specific Plan area in cases where conventional lot layouts are not feasible or practical. Cul-de-sac lots shall not have a frontage of less than 30 feet. Flag lots shall not have a frontage of less than 25 feet for each lot. In cases where more than one

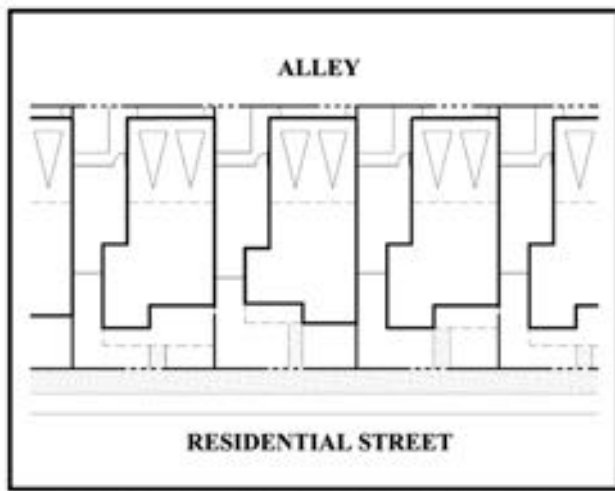
flag lot is necessary, shared common driveways must be utilized to reduce pavement and driveway repetition. Landscaping along both sides of the flag lot driveway should be used to avoid an alley appearance.



**TYPICAL ZIPPER LOT
SINGLE FAMILY DETACHED**

Typical Zipper Lot Setbacks:

Front		
	Living	5 ± feet
	Garage	18 ± feet
Side		3 ± feet
Rear		15 ± feet



ZERO LOT LINE ALLEY LOADED
SINGLE FAMILY DETACHED

Typical Zero Lot Line Alley Loaded Setbacks:

Front		
	Living	5 ± feet
	Garage	18 ± feet
Side		3 ± feet
Zero Side		0 ± feet
Rear		15 ± feet



Intent

Design guidelines for single family detached houses are intended to restore and reinforce the presence of dwellings along streets by reducing the dominance of garages and automobiles in residential Neighborhoods. While these guidelines are specifically intended to reduce the construction of residential streets dominated by garage doors, they do not limit the accessibility of dwellings by cars or reduce parking rations.

As lots become smaller and narrower, it becomes more difficult to maintain a strong street presence

for the living area. The primary technique for promoting street presence is to limit the portion of the building front devoted to garages and parking. Other methods to help improve a dwelling's presence on the street include architectural elements such as porches or other entrance features which articulate and add interest to the building, the introduction of tandem garages, increasing the garage setback, providing second story living space over the garage and providing gently curving streets.

Private Open Space

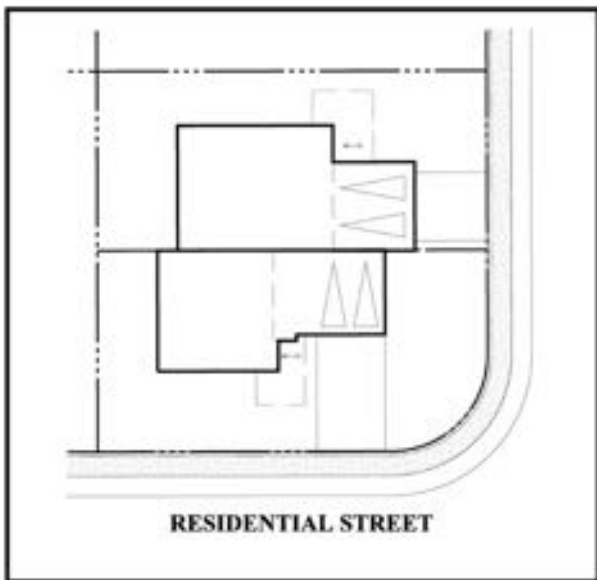
There should be a minimum of 600 square feet of private open space for every dwelling unit. This area must measure no less than 15 feet in any dimension, unless some major compensating factor is present; then the minimum dimension should be at least 15 feet. Major compensating factors are substantially larger areas of open space (on-site or off-site) in close proximity (within ¼ of a mile) and immediately available to the living unit.

PAIRED DWELLINGS



Definition

- Individual lots with street frontage.
- Dwelling units are attached at their sides in pairs.
- One dwelling unit per lot.
- Front and rear setbacks. To be determined at Design Review stage.
- Private rear yards.
- Each unit has a side yard on one side only.
- Zero lot line between paired dwelling buildings.



TYPICAL PAIRED DWELLINGS
SINGLE FAMILY ATTACHED

Typical Paired Dwellings Setbacks:

Front		
	Living	10 ± feet
	Garage	18 ± feet
Side		3 ± feet
Zero Side		0 ± feet
Rear		15 ± feet

Intent

Design Guidelines for paired dwellings, like those for single family detached houses, are intended to restore the presence of dwellings along streets and to mitigate the dominance of the automobile and garages in residential Neighborhoods. While these guidelines are specifically intended to discourage the construction of residential streets continuously lined with garage doors, they do not limit the accessibility of dwellings by cars or reduce parking ratios. As with single family detached houses, garages may be either detached behind the houses or attached. Units with attached garages should be designed so that garages are not the dominant building element.

Another objective of these guidelines is to discourage the construction of unbroken, repetitious streetscapes.

The preferred means is the use of short blocks within paired-dwelling projects. Alternatives to short blocks are addressed in this Article.

Private Open Space

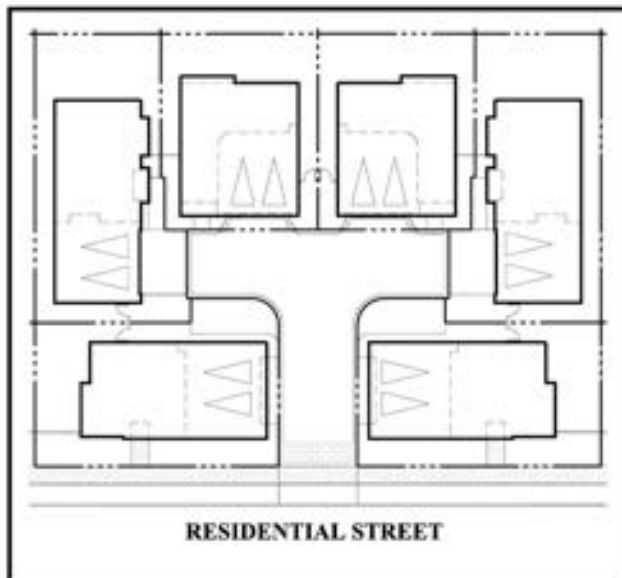
There should be a minimum of 600 square feet of private open space for every dwelling unit. This area must measure no less than 15 feet in any dimension, unless some major compensating factor is present; then the minimum dimension should be at least 10 feet. Major compensating factors are substantially larger areas of open space (on-site or off-site) in close proximity (within a ¼ of a mile) to and immediately available to the living unit.

COURTHOMES



Definition

- Individual lots with frontage on a shared courtyard that provides both vehicular and pedestrian access to a cluster of no more than 6 dwelling units.
- Resident parking on individual lots.
- One dwelling unit per lot.
- Private rear yards or patios.
- Common open space for projects with more than 20 units.
- Detached or attached dwelling units.



TYPICAL COURTHOMES
SINGLE FAMILY DETACHED

Typical Courthomes Setbacks:

Front	3 ± feet
Side	3 ± feet
Rear	15 ± feet

Courthome development is intended to occur in compact groupings (courts) of no more than 6 attached or detached dwelling units oriented in a generally symmetrical pattern around a courtyard but may be asymmetric to accommodate garage layouts. The courtyard should take its access from a public street or a private street including on-street parking, sidewalks and parkstrips.

Units with garage access on this street are not courthomes and are generally discouraged since such configurations reduce the continuity of the front landscape areas and reduce on-street parking opportunities. In special circumstances, where courthomes are mixed with other housing types (e.g. single family detached, rowhouses, etc.), such housing types should conform to the guidelines for their respective housing type.

All front doors, except for those of the front units, and all private attached parking garages should be accessed from the courtyard. The courtyard area should be carefully designed as a single, attractive unit with landscaping and decorative paving designed to complement the whole. Buildings in each court should exhibit a strong, common architectural theme and a close knit relationship which should give the impression of an attached unit product even if units are detached.

Private Open Space

There should be a minimum of 400 square feet of private open space per unit (with minimum dimensions of 15 feet). Private open space areas should be adjacent to each other, where possible, to maximize sunlight exposure and a sense of openness. In addition to the 400 square feet/unit of private open space, 150 square feet of common open space per unit should be provided for projects with more than 20 units. This common open space requirement may, however, be eliminated if an additional 150 square feet of private open space is provided for each unit. The common open space requirement may be reduced proportionately if the project is located in close proximity (within ¼ of a mile) to a public park.

Building Separations

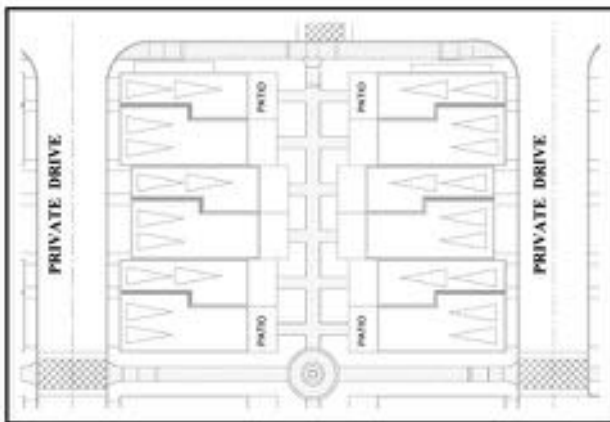
- The minimum separation between building faces of units on one court and those on another court should be 10 feet.
- Separations between adjacent buildings in the same court should be a minimum of 8 feet for at least 10 linear feet of adjacent building sides. Otherwise, separation will be dictated by the appropriate side yard setbacks.
- Separations between buildings facing each other across a courtyard should vary to avoid a street like appearance.

GARDEN TOWNHOMES



Definition

- Dwelling units are attached at their sides in groups of three or more.
- Individual lots with vehicular access from driveways.
- A separate common circulation system provides the primary pedestrian access to the units. (For projects with common open space substantially in excess of the minimum, unit front entries may face the driveways.)
- Private rear yards or patios and common open space.
- Resident parking on individual lots.



TYPICAL GARDEN TOWNHOME

Typical Garden Townhome Setbacks:

Front	3 ± feet
Side	0 ± feet
Rear	3 ± feet

Intent

Garden townhouse unit entries should be oriented to common open space areas that are attractive and generously landscaped. A pedestrian circulation system should link unit entrances with other uses or areas on the site. A portion of the common open space should be visible from surrounding streets or drives and between buildings, and where possible, it should extend all the way to the driveway. Guest parking is typically accommodated in open parking areas; these should be screened from common open space. Although garden townhouse "fronts" and primary pedestrian access are not oriented toward the drive but rather toward the common open space and pedestrian circulation system, driveways should not be lined with barren processions of garage doors.

Building Separations

The minimum separations between building faces containing dwelling units are as follows:

- Front to front: 30 feet
- Front to rear: 30 feet
- Rear to rear: 30 feet
- Front to side: 25 feet
- Rear to side: 20 feet
- Side to side: 20 feet ⁽¹⁾

Footnote:

(1) May be reduced to 10 feet for a landscaped walkway serving as a route from a parking area to a building or unit entrance.

Private Open Space

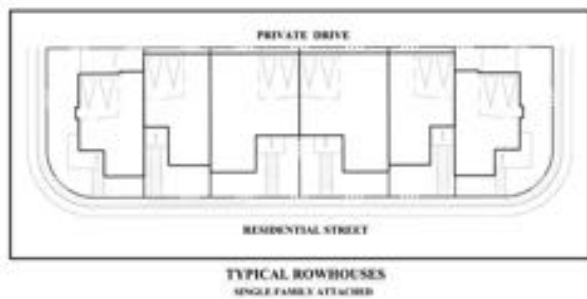
There should be a minimum of 300 square feet of private open space (minimum dimension of 15 feet) and an additional 150 square feet of common usable open space for every dwelling unit. The common open space requirement may, however, be eliminated if an additional 150 square feet of private open space is provided for each unit. The common open space requirement may be reduced proportionately if the project is located in close proximity (within a ¼ of a mile) to a public park.

ROWHOUSES



Definition

- Dwelling units are attached at their sides in groups of three or more.
- Units entries orient to the street.
- Garages oriented to the rear.
- Individual lots with street frontage.
- One dwelling unit per lot.
- Private rear yards.
- No side-yard separation between units.
- Resident parking on individual lots.



Typical Rowhouses Setbacks:

Front		
	Living	10 ± feet
Side		0 ± feet
Rear		15 ± feet
	Garage	3 ± feet

Intent

The intent of design guidelines for Rowhouses is similar to that for other housing types in this part with emphasis on creating urban streetscapes on both public streets adjacent to new projects and on the streets within projects. To accomplish this, these building configurations that minimize the impact of the automobile and garage and establish the presence of living area and landscaping along streets and drives.

Building Separations

- The minimum separation between building faces of units should be 15 feet.
- The minimum separation between buildings and parking areas shall be 10 feet.

Private Open Space

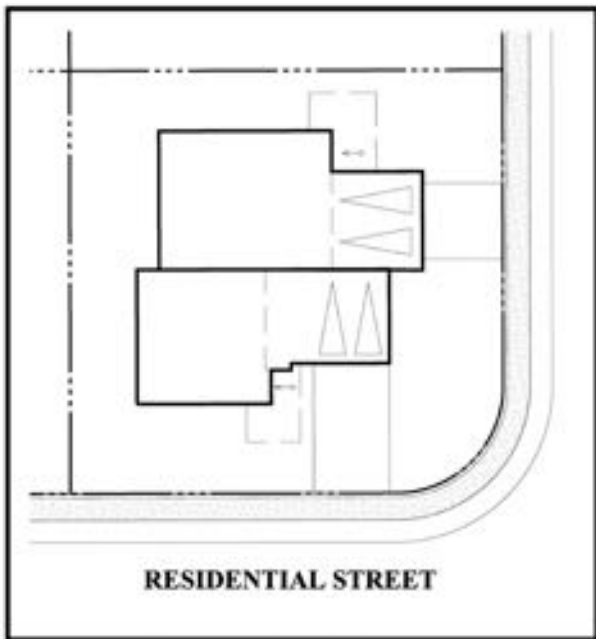
There should be a minimum of 400 square feet of private open space for every dwelling. This area should have minimum dimensions of 15 feet. For projects with more than 20 units, an additional 150 square feet of usable common or private open space should be provided for each unit. The common open space requirement may be reduced proportionately if the project is located in close proximity (within a ¼ of a mile) to a public park.

DUPLEXES



Definition

- Dwelling units attached in pairs.
- Two dwelling units per lot.
- Lot and at least one unit have street frontage.
- Two unit buildings have front, rear and side setbacks.
- Resident parking on lot.
- Private yards for each unit.



TYPICAL DUPLEX
SINGLE FAMILY ATTACHED

Typical Duplex Setbacks:

Front		
	Living	10 ± feet
	Garage	18 ± feet
Side		3 ± feet
Rear		15 ± feet

Intent

Traditional duplexes, as opposed to paired dwellings, most often occur as infill housing projects within established neighborhoods. While there are many neighborhoods comprised exclusively of duplexes, there are also areas that have a mixture of duplexes, single family houses and/or other housing types. The two duplex units may relate to each other in a variety of ways, side by side, one up and one down or front and back. The latter, with one unit fronting on the street and the other unit behind is the most common.

Private Open Space

Private rear yards of at least 300 square feet in size should be provided for each unit and should also conform to the following;

- For units with more than two bedrooms, the private yard should be increased by 100 square feet for each additional bedroom.
- The minimum width of the private yard should be no less than 15 feet.
- Private yards should be directly accessible from a kitchen, family room, dining room or living room. Access to open space areas via narrow side yards is not permissible. “Directly accessible” may include access via stairs if the unit is located on the second floor and the open space is located on the ground level.
- Large decks which are architecturally integrated with the structure may be counted as private open space provided such areas are secure from direct access by the public.
- The front setback area should not be used for private open space.
- Care should be taken to avoid having windows of one unit overlooking the private open space of the other unit.

CLUSTER HOUSING



supplement the limited amount of private open space provided by balconies and patios.

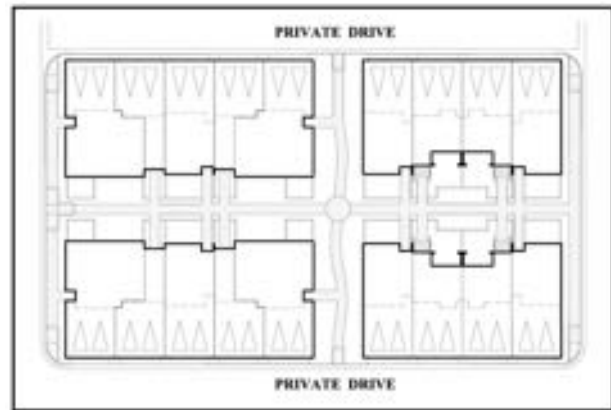


Definition

- Attached units which are stacked and clustered in buildings or groups of buildings.
- Private open space in the form of patios, decks or balconies.
- Common open space except for very small projects.
- Vehicular access and circulation via driveways, entry drives, parking drives and/or parking courts.
- Separate pedestrian circulation system.
- Parking is aggregated and not always contiguous to units; some parking may be provided within residential buildings.

Intent

The intent of cluster housing is to allow a higher density development of grouped units between 10 to 20 units per acre. This provides for the opportunity for greater affordability, common open space, and creates a greater sense of community and security. Cluster Housing takes the form of either condominium or apartment units clustered in a group on a single parcel or on multiple parcels within a common interest subdivision. Given the high density characteristics of cluster development, common open space should be provided to



TYPICAL CLUSTER HOUSING

Building Separations

Minimum separations between building faces containing dwelling units should be:

- Front to front: 30 feet
- Front to rear: 30 feet
- Rear to rear: 30 feet
- Front to side: 25feet
- Rear to side: 20 feet
- Side to side: 20 feet ⁽¹⁾

Balconies, patios and windows to other buildings: 20 feet ⁽²⁾

Any of these building separations may be reduced to 15 feet for very minor portions of buildings provided that project separations, in general, substantially exceed the listed minimums.

Footnotes:

- (1) May be reduced to 10 feet for a landscaped walkway serving as a route from a Parking area to a building or unit entrance.
- (2) When visibility is obstructed by something other than landscaping, these separations do not apply.

Private Open Space

There should be a minimum of 60 square feet of private open space and an additional 200 square feet of usable common open space for every dwelling unit. Required common open space per unit may be reduced by an area equivalent to the amount of private open space in excess of 60 square feet. Projects with fewer than eight units need not have common open space, provided that each ground floor unit has at least 120 square feet of private open space.

MIXED USE



Definition

Mixed-use development consists of a vertical or horizontal combination of residential and commercial uses within a single building or site. Vertical mixed uses in multi-story structures will generally have retail or office uses located on the lower levels and residential units located on the upper floors, or residential uses on the lower floors and office uses located on the upper floors. Horizontal mixed-use provides for residential and commercial uses located in separate structures on a single site.

Intent

Mixed uses are contemplated in the RM-SR areas and should be located in higher density areas of the Project and in close proximity to non-vehicular circulation (33 percent of the gross RM-SR land use area may be utilized for Neighborhood Commercial, (see Article 2, Table 2-3 Multiple Family Residential (RM-SR) Land Use Table). Pedestrian circulation should be given special attention and should provide convenient access to adjacent facilities and uses. Sidewalks and walkways should be wide, attractive and inviting. By facilitating easy pedestrian and transit access to jobs and shopping, mixed-use development can help reduce reliance on the automobile and ease local traffic congestion.

Pedestrian Orientation

Mixed-use projects should include direct and attractive pedestrian and bicycle access to all nearby commercial areas and transit stops. Sidewalks, walkways, and bicycle trails should be wide, separated from conflicting activities and bordered by attractive landscaping, most importantly by street and/or shade trees.



Mix of Uses

The mix of uses should be carefully chosen and located for maximum compatibility and mutual benefit (see Article 2, Table 2-3 Residential Multiple (RM-SR) Land Use Table for permitted, conditionally permitted, and not permitted Neighborhood Commercial uses within the RM-SR district):

- Retail uses should generally be limited to the ground floor spaces along street frontages, or commercial plazas.
- Office uses may be located on the first and /or upper floors. Consideration should be given to project designs that allow areas of the building to be occupied with either office or residential uses depending on market demand provided such uses do not conflict.
- Commercial uses within mixed-use projects should be of the variety that directly serve and support the surrounding neighborhood and/or promote pedestrian and bicycle traffic.
- Uses incompatible with a pleasant residential environment should be avoided.

- Child care is strongly encouraged in a mixed-use setting.

Interface Between Uses

The quality of the residential environment should not be compromised by the operational needs of the Commercial uses:

- Commercial loading areas, trash facilities and mechanical equipment should be screened from sight from all pedestrian ways and should be located away from residential entries, open space and windows to avoid visual, noise and odor impacts on the residential portion of a project.
- The residential portions of projects and buildings should be self-contained and inappropriate access to them from non-residential spaces should be precluded.
- Commercial hours of operation should be limited to avoid adverse impacts on the residential uses within the project.

Building Setbacks

Mixed-use buildings and locations are typically urban in character (see Development Standards in Article 2 of this Specific Plan, Table 2-5 Residential Multiple (RM-SR) and Table 2-7 Neighborhood Commercial (C2-RM) for additional setback information).

Building Orientation

Buildings should be oriented parallel to the street, particularly at corners. Buildings and, in particular, entrances should be oriented toward sidewalks and bus stops for convenient public access.

Relationship to the Street

Active connections between buildings and the street, for example residential and retail entries, porches, stairs, decks, courtyards, and windows, should be maximized.

Building Design and Vertical Mixed-Use

The design of mixed-use buildings requires special care to accommodate and reflect the diverse uses; to visually integrate the whole; and to present an appropriately urban facade to the street and surrounding community.

- The design of building facades should be balanced, harmonious and pleasing to the eye. Large boxy buildings with little or no decoration are not appropriate; however, overly decorated and overly articulated buildings that have a frenetic appearance are also discouraged.
- The scale of mixed-use buildings should reflect the scale of existing or planned surroundings. Larger mixed use buildings or projects may reflect their relatively smaller scaled surroundings through greater building articulation, borrowing of architectural themes and the judicious use of multiple materials.
- Materials should be solid and durable. Stucco with a thinly applied appearance, or rough and/or thin wood siding and trim, for example, is not appropriate.
- Building facades should reflect the uses behind them while maintaining a strong architectural relationship among the parts. For example:
 1. Building facades should be articulated vertically or horizontally (both if possible).
 2. Commercial windows should be large and of clear glass for retail spaces and residential windows should typically be smaller and often vertical in shape.
 3. Materials and detailing may vary to express different uses but should be drawn from the same architectural theme or style).
- In locations which require the appearance of a reduced scale for compatibility with surroundings, larger scale building volume should be articulated to reflect individual units or groups of units as "small buildings." Units or "small buildings" should be further distinguished by:
 1. Different but compatible architectural treatment and/or materials;

2. Different detailing and decorative elements;
 3. Different window shapes and placements;
 4. Different floor plate elevations, if possible;
 5. Different balcony types, e.g. inset vs. exterior;
 6. Different but compatible colors.
- Entries to residential and non-residential uses should be separate and designed to reflect their residential or Commercial purpose. Entrances to residential units along "Commercial" frontages and/or high volume streets should be via an internal lobby, stairway and/or elevator. Along other streets, "first floor" units should be accessed via private stairs and porches where feasible.

Building and Site Design and Horizontal Mixed-Use

Horizontal mixed-use projects will typically have multiple buildings as well as multiple uses. Buildings should have a positive functional relationship with each other as well as an aesthetically pleasing spatial relationship:

- The exterior building design, including roof style, color, materials, and architectural form and detailing, should be consistent, or at least compatible, among all buildings in a complex and on all elevations of each building to achieve design harmony and continuity within the project and with its surroundings.
- Connective elements such as walkways, common landscaped areas, building orientation, and un-fenced property lines should be employed, and are strongly encouraged.
- Particular care should be taken to assure convenient pedestrian access through all parts of a project to nearby transit facilities.

Parking Configuration

Street parking (either parallel or angled parking) is encouraged along the public right of way. Any surface parking should be provided in well screened parking lots at the rear or sides of projects. Parking which is intended to support Commercial uses

should be placed within convenient walking distance to such uses.

Alternating Parking Opportunities

The demand for Commercial parking generally occurs at different times than for residential parking. To take advantage of this opportunity, alternating or shared residential and Commercial parking is encouraged to reduce the number of parking spaces required for the project. The percentage of parking that may be shared depends on the Commercial uses and their anticipated hours of operation; "share" will be determined through the rezoning or permit process. Sharing parking with adjacent sites can also be considered.

Private Open Space

Private open space should be provided at a minimum of 60 square feet per unit with a minimum dimension of 6 feet. In addition, common open space should be provided at a minimum of 100 square feet per unit.

Open Space Location

Open space should be located where it is protected from the activities of Commercial areas and adjacent public streets. Both private and common open space areas should be oriented toward the interior of the project to provide noise buffering from surrounding uses. Balconies that provide incidental or secondary open space areas for residential units may face public streets in order to add architectural interest to the building.

7.4. NEIGHBORHOOD COMMERCIAL AND OTHER NON-RESIDENTIAL DESIGN GUIDELINES

Design Concept and Intent

The Neighborhood Commercial center, elementary school and Community Park comprise the heart of the community and provide a social, commercial and recreational core for the residents. The Neighborhood Commercial center will be located along Fairview Road and will be connected to the Community Park and school by a pedestrian/bike parkway. The center shall not be located more than one-half mile from 80 percent of the planned

residents in the Plan Area. The short walking distance and the pleasant environment envisioned for pedestrian ways will encourage residents to walk to the center.

Schools and nearby Community Parks are traditional joint use facilities and the Developers intend to work with the School District to facilitate such a joint use agreement for the Project. A small amphitheater or events pavilion has potential for educational programs and activities. The school and Park interface shall be designed to provide the security and supervision required for small children and yet provides convenience for utilization of the park facilities. A fence or landscape screen line shall be incorporated into the design as appropriate to meet these needs. The Community Park may provide the setting for active recreation (neighborhood children playing soccer), a garden, a small, informal amphitheater or special events pavilion. These uses provide an important public space for the community. The amphitheater or pavilion could accommodate both informal and programmed activities. Programmed activities might include small performances of music or other cultural programs, public gatherings such as an annual community event, occasional recreational events, and small, family events such as weddings or receptions. The Community Park will also be a natural location for Neighborhood social functions.



Neighborhood Commercial Design Guidelines

The following Design Guidelines shall be applied to Neighborhood Commercial uses within the C2-SR area and to any Commercial mixed-use within the RM-SR areas.

Design and Building Sitting

- The front facade of Neighborhood Commercial buildings should be oriented along street frontages and/or Commercial plazas and pedestrian paseos.
- Public activity spaces such as paseos and outdoor seating areas, fountains, and plazas should be incorporated in the site design.

Building Design

- The use of awnings, roof projections, trellises, porches, detailed parapets, and arcades are encouraged.
- Building facades should have elements that relate to the scale of a person. All facades should emphasize three dimensional detailing such as cornices, window moldings, recessed storefront windows, and reveals to cast shadows and create visual interest on the facade.
- Buildings should have architecturally articulated storefronts. Window treatments, awnings, roof overhangs, and public entries should be designed to promote active use of ground floor businesses.
- Entries to ground floor retail areas should occur from the street plazas or paseos, and should be accented with features such as moldings, lighting, trellises, porches, overhangs, or awnings.
- Building entries should be recessed into entry bays to create transitional spaces between the sidewalk and buildings.
- Commercial storefronts should include street-oriented windows with clear glass. These windows should provide visual access to the inside of the building, while also serving as an area for merchandise displays.
- Design of second floor offices are encouraged to overlook courtyards to take advantage of the amenity.
- Retail and service Commercial uses shall provide access for patrons and be oriented to the adjacent collector street.

- Building facades visible from public areas shall be designed with sufficient detail to provide an interesting visual image. Service areas and facades not visible from public areas may be of simpler treatment.



Materials and Colors

- Building materials and colors should create visual interest and reinforce the pedestrian scale of neighborhood streets.
- A variety of durable materials and textures is encouraged. The types of materials used should be compatible with the materials that are used on adjacent residential buildings that are of a high architectural quality. The following materials are encouraged:
 1. Stucco and combinations of stucco, stone, and wood or materials of a wood-like appearance, having the necessary fire retardant characteristics, are encouraged for exterior surfaces;
 2. Roof materials should be concrete, clay, cement, tile, composition shingle or other fire resistant materials.
- A wide variety of other materials to articulate different building elements from the main exterior facade is encouraged. Building elements that can be set off from the main facade include the building base, horizontal

break bands, pier or column bases, roof terminations, sills and awnings.

- The ground floor facade should provide a variety of architectural elements and should utilize a diverse set of materials.
- The primary building should use light, warm colors. Bright colors should be limited to accent features, including doors, windows, awnings, and other pedestrian oriented architectural details.



Lighting

- Exterior lighting shall be used to encourage residents and patrons to use the outdoor spaces in the warm evenings. Lighting shall be used to enhance the pedestrian pathway and make it more inviting and comfortable for use throughout the year.
- Exterior lighting shall be directed downward and shielded to avoid light spillage on adjacent residential uses.

Parking

- Parking lots shall be located away from adjacent open space and parks, and to the side of the buildings, where feasible. Parking requirements for mixed use developments may be reduced, as determined appropriate by the Planning Director, to facilitate joint use of parking areas, so long as it still complies with state and federal law regarding accessibility under the Americans with Disabilities Act.

- Common driveways shall be used where multiple uses occupy a single site.
- All vehicle parking in the Neighborhood Commercial center shall be accommodated on site. No on-street parking shall be permitted.

Additional Design Components

- Reflective glass is discouraged on south and west facing walls to avoid strong glare in the late afternoon. This is of particular concern where reflection would affect drivers on the adjacent thoroughfares.
- Buildings shall incorporate passive solar design elements where feasible. The south and west side of buildings should be shaded with overhangs, arcades, trellises or landscaping, as appropriate.
- Exterior spaces should provide shade for the summer and protection from wind and rain in the winter. Buildings should incorporate recessed entries, covered walks, colonnades, overhangs, arcades, trellises, or landscaping in primary public walk areas exposed to mid-day and afternoon sun.
- All service, loading, and trash storage areas shall be screened from public view.
- Ground and roof-mounted mechanical equipment, such as heating, ventilation, and air conditioning compressors and ducts, shall be completely screened from view from any public area or residential Neighborhood.
- All noise generating mechanical devices shall be of low emission design, and/or located and screened with noise reduction barriers so that the noise nuisance to abutting properties is minimized.
- Loading areas and trash enclosures shall be located as far away as possible from existing and proposed residences, and enclosed with noise reduction barriers or sited with intervening buildings that can act as noise barriers.

Signage

Signs will be one of the most noticeable elements of Santana Ranch and will play a major role in creating a visual image for the Project. Pedestrians and drivers will require distinguishable signs and/or features to clearly and easily identify Neighborhoods and businesses within the Plan Area. It is in the interest of the Project, its future residents and visitors, and businesses that clear guidelines for sign design and placement are established to promote safe and efficient circulation.

The goal of these guidelines is to provide a basis for the creation of a hierarchy of easy-to-read signs for the Project to aid in:

- Establishing a strong identification for the Project at the primary entrances of Fairview Road;
- Establishing a consistency of sign types and locations throughout the Project;
- Reducing the potential for conflicts caused by lost vehicles attempting “U” turns and other disrupting maneuvers;
- Controlling the number and nature of signs within the project, thereby avoiding clutter;
- Raising awareness of bicyclists and pedestrians concerning potential conflicts and hazards within the Project;
- Establishing a consistent program for overall Project signage; and
- Setting forth guidelines for neighborhood signage such as directional and informational signs.

As part of the application for the first Small Lot Final Subdivision Map (with “buildable” lots), The Developers shall prepare a Master Sign Program to the satisfaction of the County, The overall Master Sign Program will establish the hierarchy of signs, sizes, application, locations, style, color, materials, and general appearance of signs throughout the Plan Area. Individual Neighborhood sign programs will be established at the Tentative Map stage for all subsequent Tentative Maps. The sign program for the Neighborhood Commercial center will be

established during design review for the center. All sign programs will be consistent with these guidelines.

The hierarchy of Plan Area signs is as follows:

OVERALL PROJECT SIGNS:

- Project Entry
- Street Directional
- Street Name
- Park Identification
- Park Directional

NEIGHBORHOOD SIGNS:

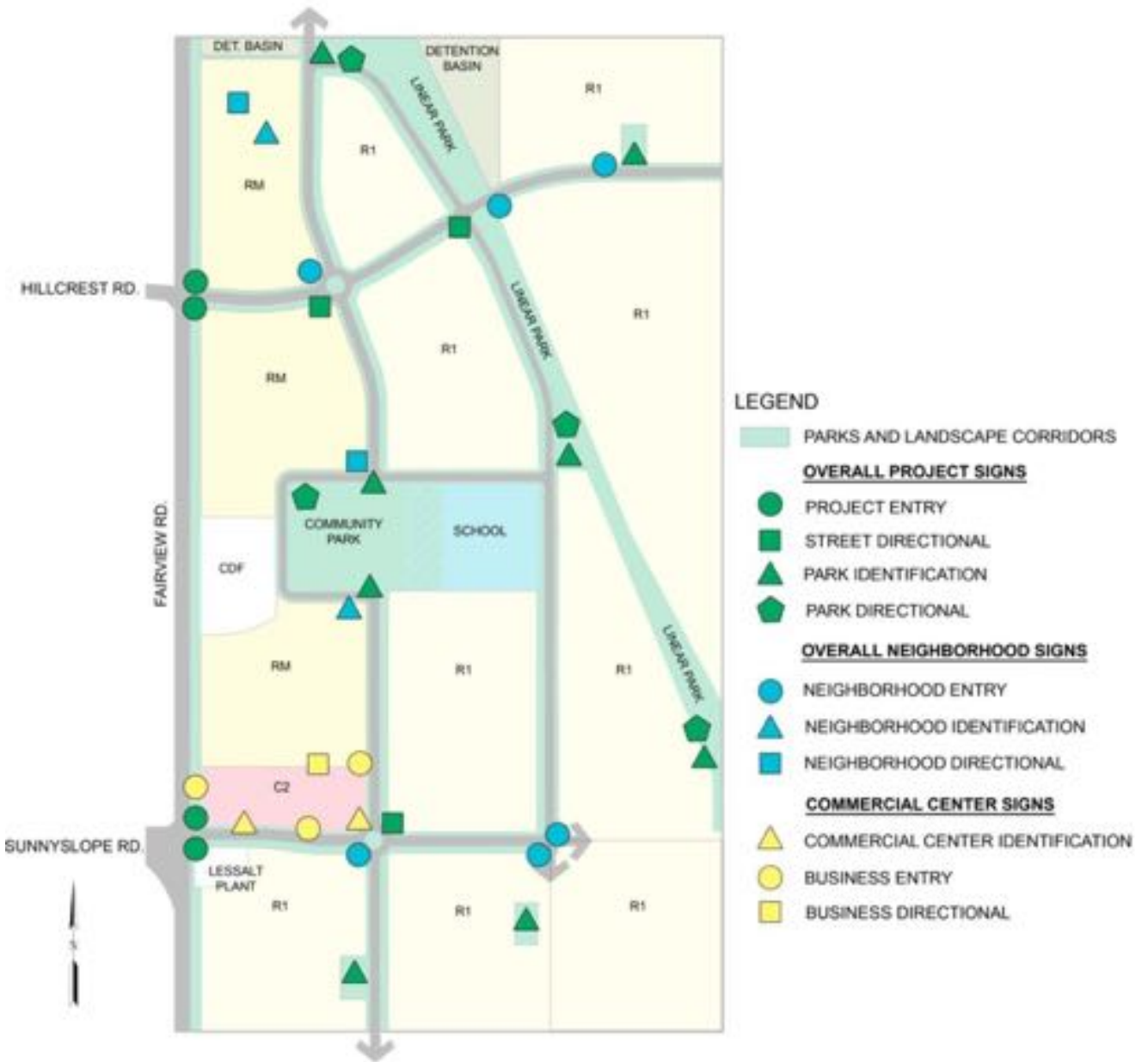
- Neighborhood Entry
- Neighborhood Directional
- Building Identification

COMMERCIAL CENTER SIGNS:

- Commercial Center Identification
- Business Directional
- Building Identification

TEMPORARY SIGNS

FIGURE 7-3 CONCEPTUAL SIGN LOCATION MAP



OVERALL PROJECT SIGNS:

Overall Project signs provide identity and way-finding for the Project and its residents and visitors. The sign design and styles will provide continuity and familiarity of appearance. The Santana Ranch name or logo shall be integrated into all overall Project signs.

Project Entry Signs can be large freestanding and/or monument type signs. These signs are intended to identify Santana Ranch, be visible from Fairview Road and direct traffic into the Project.

Project Entry Signs should be located at the intersections of Sunnyslope Road/Fairview Road and Hillcrest Road/Fairview Road. Other locations may be deemed appropriate as development occurs within the Plan Area. Project Entry Signs will be located within the landscaped areas behind curb returns, and may be illuminated. The signs shall be placed to avoid driver line-of-sight issues at the intersections and may require easements if located on private property. Two-sided and/or multi-faced signs may be used in this category.

Street Directional Signs aid in direction-finding along the public streets within the Project. These signs will be medium-profile freestanding and/or monument signs that shall be legible to pedestrians and automobiles. Street Directional Signs are intended to provide directions to Neighborhoods, businesses and Parks, and may include directional arrows or graphic symbols.

Street Directional Signs shall be located along the Project's interior public streets at key intersections. Other locations may be deemed appropriate as development occurs within the Plan Area.

Park Identification Signs will identify formal parks within the Project. These signs will be wall mounted, freestanding or monument type signs and will be located at park entrances and/or prominent park locations.

Park Directional Signs will aid in direction-finding within public parks. These signs will be freestanding signs that shall be legible to pedestrians.

Park directional signs shall be located along the Project's interior public streets at key intersections.

Other locations may be deemed appropriate as development occurs within the Plan Area.

NEIGHBORHOOD SIGNS:

Neighborhood Entry Signs identify individual neighborhoods. These are low profile monument or wall type signs and will be located within R1-SR and RM-SR Neighborhoods.

Neighborhood Entry Signs will be located at key Neighborhood entry points.

Neighborhood Directional Signs aid in direction-finding within individual Neighborhoods. These signs will be freestanding signs that shall be legible to pedestrians and automobiles.

Neighborhood Directional Signs are intended to provide directions to Neighborhoods and may include directional arrows or graphic symbols.

Neighborhood Identification Signs identify individual projects within RM-SR Neighborhoods. These signs will be monument or wall type signs.

Neighborhood Identification Signs will be located within the confines of individual projects to provide way-finding for pedestrian and vehicular traffic.

Building Identification Signs identify individual buildings within RM-SR projects. These signs will be large building mounted signs that shall be legible to pedestrians and automobiles. Building Identification Signs provide way-finding for visitors.

COMMERCIAL SIGNS:

Commercial sign guidelines shall apply to the Commercial Center and mixed-use Commercial components within the RM-SR Neighborhoods.

Commercial Center Identification Signs are the primary means of identifying the Neighborhood Commercial center. These signs will be large building mounted signs. Commercial Identification Signs will either be the Project name or the Santana Ranch logo and will be located in the commercial center. These will be easily legible from Fairview Road.

Business Entry Signs identify individual businesses within the Commercial center. These are low profile freestanding or monument signs.

Business Identification Signs will be located at Commercial entry drives and key intersections.

Business Directional Signs identify individual businesses within the Commercial center and may include directional arrows or graphic symbols. These are low profile freestanding or monument signs. Business Directional Signs may be located at commercial entry drives, internal circulation, and parking lots.

Business Identification Signs are building-mounted, awning, painted building, projecting, hanging, freestanding, monument signs, etc. intended to identify individual buildings and/or businesses from the public streets. Building-mounted signs may be illuminated and will be located on buildings, below the highest roof fascia or parapet.

TEMPORARY SIGNS:

Temporary Signs are typically mid to large-size signs intended for short term “temporary” use for marketing, sales, rental unit availability, event notification, advertising, etc.

MAXIMUM SIGN HEIGHT AND AREA

OVERALL PROJECT SIGNS:

Project Entry

- Two wall signs each not to exceed 100 square feet in sign area per sign face are permitted.
or
- Two monument signs per Fairview Road intersection each not exceeding 100 square feet in sign area per sign face and 8 feet in overall height (including base) are permitted.

Street Directional

- Freestanding signs each not to exceed 30 square feet in sign area per sign face and 8 feet

in overall height are permitted.
or

- Monument signs each not to exceed 30 square feet in sign area per sign face and 6 feet in overall height (including base) are permitted.

Park Identification

- Freestanding signs each not to exceed 30 square feet in sign area per sign face and 8 feet in overall height (including base) are permitted.
or
- Monument signs each not to exceed 30 square feet in sign area per sign face and 6 feet in overall height (including base) are permitted.
or
- Wall signs each not to exceed 30 square feet in sign area per sign face are permitted.

Park Directional

- Freestanding signs each not to exceed 30 square feet in sign area per sign face and 8 feet in height are permitted.

NEIGHBORHOOD SIGNS:

Neighborhood Entry

- Wall signs each not to exceed 50 square feet in sign area per sign face are permitted.
or
- Monument signs per Fairview Road intersection each not exceeding 50 square feet in sign area per sign face and 6 feet in overall height (including base) are permitted.

Neighborhood Identification

- Wall signs each not to exceed 40 square feet in sign area per sign face are permitted.
or
- Monument signs per Fairview Road intersection each not exceeding 40 square feet in sign area per sign face and 4 feet in overall height (including base) are permitted.

Neighborhood Directional

- Freestanding signs each not to exceed 30 square feet in sign area per sign face and 8 feet in overall height are permitted.

Building Identification

- Building-mounted sign at one square foot per linear foot of elevation frontage not to exceed 20 square feet.

COMMERCIAL CENTER SIGNS:

Commercial Center Identification

- Building-mounted sign at one square foot per linear foot of elevation frontage not to exceed 100 square feet

Business Entry

- Freestanding signs each not to exceed 60 square feet in sign area per sign face and 8 feet in overall height are permitted.
or
- Monument signs each not to exceed 60 square feet in sign area per sign face and 6 feet in overall height (including base) are permitted.

Business Directional

- Freestanding signs each not to exceed 60 square feet in sign area per sign face and 8 feet in overall height are permitted.
or
- Monument signs each not to exceed 60 square feet in sign area per sign face and 6 feet in overall height (including base) are permitted.

Business Identification

- Building-mounted, awning, painted building, projecting, hanging, freestanding, monument signs, etc. sign at one square foot per linear foot of elevation frontage not to exceed 100 square feet.

TEMPORARY SIGNS:

Temporary Signs

- Temporary signs not to exceed 50 square feet in sign area per sign face and 15 feet in overall height.
and
- One banner not exceeding 100 square feet in sign area per site.

Sign face and height are defined as follows:

- Monument or freestanding sign face shall include all areas with the exception of the base, standards, and/or non-sign structural elements.
- Wall or Building mounted sign face shall be determined by the outer most perimeter of letters and/or logo.
- Overall sign height is defined as being from the ground to the upper most point of the sign structure.

PROHIBITED SIGNS:

Signs with attention-getting devices such as blinking, flashing or fluttering lights or other illuminating device which has a changing light intensity, brightness or color.

- Inflatable, signs.
- Rotating, spinning, or otherwise moving signs.

COLORS:

- **Use contrasting color.** Signs should feature substantial contrast between the color and material of the background and text or symbols.
- **Use complementary earthtone colors.** Sign colors should complement the materials and colors on the adjacent buildings, including accent and trim colors.

- **Bright day-glo (florescent) colors** should be avoided as they are distracting and do not blend well with other background colors.

MATERIALS

Quality construction materials contribute to the sign's effectiveness and longevity. Signs should be durable enough to withstand the elements while working well with the building form and materials. The following should be considered when selecting sign materials:

- **Appropriate materials.** Sign materials should be compatible with the design of the façade on which they are located. Sign design should consider the materials and architectural design of the building and the sign's legibility.
- **Durable materials.** Sign materials should be extremely durable. Paper and cloth signs are not suitable for exterior use (except high quality, weather-resistant cloth for awnings). Wood signs should be sealed and maintained to keep moisture from deteriorating the sign. Signs may not be constructed from plywood, by simply painting letters on wood, or using "sticker" letters. Commercial grade vinyl letters applied inside glass may be permissible.

ILLUMINATION:

Appropriate illumination can add to a sign's legibility; however, the type and strength of illumination must be carefully considered. Following are guidelines for sign illumination:

- **Illuminated Signs.** Individually illuminated letters, either internally illuminated or backlit (halo lit) solid letters (reverse channel) are encouraged and are preferred to internally illuminated cabinet (can) signs. Signs comprised of individual letters mounted directly on a structure can often use a distinctive element of the structure's façade as a backdrop, better integrating them with the structure.
- **Use illumination only if necessary.** Not all signs need to be illuminated. Non-illuminated signs and window displays may be sufficient to identify the business.

- **External lighting fixtures** should be small and unobtrusive and shall not cast light or glare above the horizontal plane of the top of the sign.
- **Shield the light source.** The light source, whether internal or external, should be shielded from view or directed so that the light intensity or brightness shall not be objectionable to surrounding areas. Signs should feature the minimum level required for nighttime readability.
- **Prohibited illumination.** Signs featuring neon, blinking, rotating, flashing, changing, reflecting, or fluttering lights or other illuminating device with a changing light intensity, brightness or color are not permitted.

OVERALL PROJECT SIGNS:



PROJECT ENTRY SIGN - 1



PROJECT ENTRY SIGN - 2



STREET DIRECTIONAL SIGN



STREET NAME SIGN



PARK IDENTIFICATION SIGN - 1



PARK IDENTIFICATION SIGN - 2

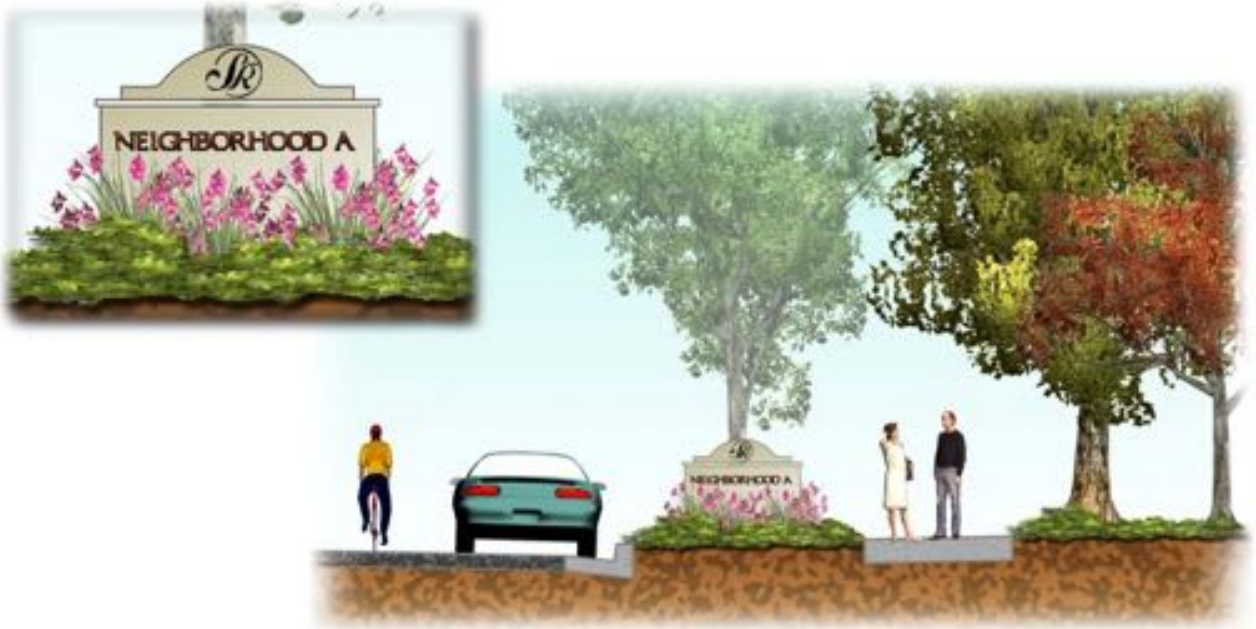


PARK DIRECTIONAL SIGN - 1



PARK DIRECTIONAL SIGN - 2

NEIGHBORHOOD SIGNS:



NEIGHBORHOOD ENTRY SIGN - 1



NEIGHBORHOOD ENTRY SIGN - 2



NEIGHORHOOD ENTRY SIGN - 3



NEIGHBORHOOD DIRECTIONAL SIGN - 1



NIGHBORHOOD DIRECTIONAL SIGN - 2



BUILDING IDENTIFICATION SIGN

COMMERCIAL CENTER SIGNS:



COMMERCIAL CENTER IDENTIFICATION SIGN



BUSINESS DIRECTIONAL SIGN



BUSINESS IDENTIFICATION SIGN

TEMPORARY SIGNS:



TEMPORARY RESIDENTIAL SIGN



TEMPORARY COMMERCIAL SIGN

7.5. GREEN BUILDING GUIDELINES

This Specific Plan is including green building design guidelines, which are meant to function as guiding framework for development of the Project, to the extent feasible. Builders of individual areas within the Plan Area are strongly encouraged to work with County staff in developing and implementing these, and other, feasible guidelines for sustainable development. LEED certification for commercial development and use of the Build it Green point rating system are encouraged within the Project, as feasible.



Residential

- Subdivision Layout and Orientation: Developers of residential neighborhoods shall provide street trees and landscaping to reduce the heating of asphalt in substantial compliance with the Master Landscape Plan. Homes shall be oriented, to the extent feasible, on an east-west axis to allow for passive solar design.
- Design for Walking and Bicycling: Pedestrian and bicycle access between residential neighborhoods, commercial space, and recreational uses shall be provided in accordance with the relevant provisions of this Specific Plan. Traffic-calming devices such as crosswalks and bulb-outs shall be considered and included, as appropriate.
- Site: Development within the Plan Area should consider the use of recycled material, such as Class 2 aggregate, where feasible.
- Landscaping: Developers shall control stormwater runoff with use of Best Management Practices (BMPs) such as swales. Resource efficient, native plants should be included in landscape plans, where feasible.

Fire-safe landscaping shall be included by creating defensible space around buildings. Development should include trees that provide shade in recreational areas and along streets. High-efficiency irrigation systems shall be installed. Outdoor lighting should be used only where necessary for public safety and security.

- Exterior: Durable and noncombustible siding and roofing materials should be used.
- Plumbing: Hot water pipes should be installed to allow for efficient hot water distribution. High efficiency toilets and fixtures should be installed in all structures.
- Heating, Air Conditioning & Ventilation: Effective exhaust systems in kitchens and bathrooms; fire alarms; and energy efficient windows should be considered.
- Finishes: Paint, wood finishes, and construction adhesives with low VOC rating should be considered.
- Appliances: Energy efficient appliances such as dishwashers, washing machines, and refrigerators should be installed, as should built-in recycling and compost bins.

Commercial

- Site:
 1. Developers of the Neighborhood Commercial uses should facilitate alternative transportation to the extent feasible; this objective could be achieved through a variety of means, such as: supporting public transportation access, as well as providing bicycle storage, parking capacity and carpooling.
 2. Developers of the Neighborhood Commercial uses should maximize open space and landscaping by minimizing the amount of impervious surface to the extent feasible.
- Water Efficiency:
 1. Use innovative wastewater technologies and water efficient landscaping.

2. Limit the use of potable water for landscape irrigation.
3. Maximize water efficiency within buildings to reduce the burden on municipal water supply and wastewater systems.

- Energy & Atmosphere:

1. Optimize energy performance, and renewable energy.
2. Encourage the use of renewable energy technologies including, but not limited to, solar panels and solar water heaters.

- Materials & Resources:

1. Collect, store and reuse of recyclable material.
2. Use local/regional materials, where feasible.
3. Reduce the amount of waste in landfills by redirecting the construction waste for recycling, where feasible
4. Facilitate the reduction of waste generated by building occupants that is hauled to and disposed of in landfills.

- Indoor Environmental Quality:

1. Use smoke and carbon dioxide monitoring systems.
2. Use an Indoor Air Quality (IAQ) Management Plan during construction.
3. Use low-emitting paints, carpets, and adhesives.
4. Construct spaces with access to daylight and views.

- Actively participate in local recycling programs.

- Improve employee morale & the health of the workplace through the implementation of feasible Green Building features.

- Take steps to conserve natural resources, prevent pollution, and reduce waste.
- Clean with less toxic products.
- Use efficient lighting systems to save energy.
- Conserve water with low-flow toilets and faucet aerators.
- Offer and encourage the use of reusable shopping bags and beverage containers.



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ARTICLE 8. IMPLEMENTATION

Implementation of the Specific Plan involves two distinct components:

- Administration of the Specific Plan, other County ordinances and requirements to comply with the California Environmental Quality Act (CEQA) and to ensure substantial compliance of the Project with the provisions of the Specific Plan and other applicable requirements.
- Allocation of responsibility, phasing and financing of the improvements, services, facilities and amenities needed to serve the Project.

8.1. Specific Plan Administration and Project Entitlements

The Specific Plan establishes a set of regulations, standards, guidelines and processes for development of the Project, and shall constitute the zoning for development of the Project on the Project Site. To the extent any standard or other provision in this Specific Plan conflicts with the County Code, including, without limitation, the County's Zoning Ordinance, the standard or other provision set forth herein shall control. Concurrently with the adoption of this Specific Plan, certain provisions of the San Benito County Code will be amended to include language recognizing the existence of the Specific Plan and providing exceptions from certain code requirements in areas addressed by the Specific Plan. Unless expressly modified herein, the provisions of the San Benito County Code shall remain in full force and effect and shall continue to apply to the Project.

8.1.1. Initial County Entitlements

The Initial County Entitlements required for the Project include the following actions to be taken by the County Board of Supervisors:

- **EIR Certification:** Certification of the Santana Ranch Environmental Impact Report (EIR), including findings that identify significant environmental impacts of the Project and mitigation measures that must be implemented as part of the Project, which will

be reflected in the Project's Mitigation Monitoring and Reporting Program (MMRP) and imposed as conditions of approval on subsequent discretionary approvals. This action will be adopted by resolution.

- **General Plan Amendments:** Amendment of the County General Plan to: (1) change the General Plan Map to show the Plan Area as "Santana Ranch-Specific Plan (SR-SP); and (2) make other specific conforming amendments to the General Plan to ensure consistency between the General Plan and the Project (collectively, General Plan Amendments). These actions will be adopted by resolution.
- **Specific Plan Approval:** Approval of the Santana Ranch Specific Plan. This action will be adopted by resolution.
- **County Code and Zoning Map Amendments:** Amendment of the County Code to: (1) change the text to reflect the new zoning designation of "Santana Ranch-Specific Plan (SR-SP); (2) change the County's Zoning Map to show the Plan Area as zoned (SR-SP); and (3) other specific conforming amendments to the San Benito County Code, including without limitation, the County's Title 25 Zoning Ordinance, Title 23 Subdivision Ordinance, and Title 19 Land Use and Environmental Regulations Ordinance in order to ensure consistency between the County Code and the Project. These actions will be adopted by ordinance.
- **Rezoning of the Plan Area:** Approval of this Specific Plan as the applicable zoning for the Plan Area. This action will be adopted by ordinance.
- **Development Agreement:** Approval of the Development Agreement between the County and the Property Owners. This action will be adopted by ordinance.
- **Large Lot Tentative Map:** Approval of a Large Lot Tentative Map (if necessary). This action will be adopted by resolution and may be concurrent with the adoption of the Specific Plan.

- **Small Lot Tentative Map:** Approval of a Small Lot Tentative Map. This action will be adopted by resolution and may be concurrent with the adoption of the Specific Plan.

Development of the Project shall be governed by the County Code in effect at the time of approval of the Project in accordance with the Development Agreement (DA), as modified and supplemented by this Specific Plan. Development of the Project shall be in substantial conformance with this Specific Plan and the DA.

8.1.2. Subsequent County Entitlements and Substantial Compliance

Following the County Board of Supervisors actions on the initial entitlements, subsequent entitlement steps must occur to implement the Project, including without limitation, Tentative and Final Subdivision Maps, Conditional Use Permits, Design Review, Building Permits, Grading Permits, and approval of Subdivision Improvement Agreements. The Project’s map review and approval process as well as design review are described further below.

The County shall not issue any entitlement, permit or approval in connection with the Project unless said entitlement, permit or approval is in substantial conformance with all applicable aspects of this Specific Plan.

8.1.3. Subdivision Map Approvals

Development of the Project will require the subdivision of the Plan Area to be developed in multiple stages, which is governed by the Subdivision Map Act (Gov’t Code §§ 66410 *et seq.*) and the County’s Subdivision Ordinance.

An applicant proposing to develop any portion of the Plan Area shall comply with the Subdivision Map Act, the County’s Subdivision Ordinance and all applicable aspects of the Specific Plan.

8.1.4. Large Lot Tentative Map

The Large Lot Tentative Map is a basic tool for implementation of the Specific Plan. The large lot Tentative Map will create the individual development Neighborhoods and other Large Lots shown on Article 2, Figure 2-1 Land Use Map. A Large Lot Tentative Map can be processed

concurrently with the Specific Plan. Those large lots created by the Large Lot Tentative Map can be processed concurrently with the Specific Plan. The large lots created by the Large Lot Tentative Map are for financing purposes and therefore the requirement for dedications and improvements will not be a condition of the Large Lot Tentative Map. Those large lots will be further subdivided into smaller lots, upon which the Project’s contemplated uses will then be developed. This further subdivision will occur through the Small Lot Subdivision Map Process, described further below. At the Developers discretion, the Large Lot Tentative Map may be combined with the first Small Lot Tentative Map.

As part of the application for the first Small Lot Final Subdivision Map (with “buildable” lots), the Developer shall prepare a Infrastructure Master Plan to the satisfaction of the County, which shall govern subsequent development of the Project. Separate Parcel Maps (which will not propose any improvements) may be filed to facilitate financing. The following Master Plans will be prepared:

- Master Phasing Plan
- Potable Water Master Plan
- Reclaimed Water Master Plan
- Wastewater Master Plan
- Grading Master Plan
- Storm Drainage Master Plan including detention facilities
- Landscape Master Plan for Parks, recreational facilities, detention facilities, streets, and other open space areas (including walls, fences, berms, street lighting, street furniture, hardscape, and planting plans).
- Collector Street Improvement Plan, including designation of proposed transit (bus) stop locations.

8.1.5. Small Lot and Tentative Subdivision Maps

In connection with a Tentative Map application, the applicant shall provide to the County all information required under the Subdivision Map Act and the County’s Subdivision Ordinance.

A Tentative Map shall be in substantial compliance with all applicable aspects of this Specific Plan. This shall include, without limitation, substantial compliance with Article 2, Land Use Map Figure 2-

1 and Table 2-1 that identifies the proposed location and acreage of all residential and non-residential uses as well as the anticipated density within each Neighborhood, as those may be adjusted in accordance with Article 2, Section 2.3. and Section 2.4. of this Specific Plan. Such adjustments may include the following:

- The boundaries of each Neighborhood may be modified by the Planning Director as a result of acreage transfers to accommodate adjustments that may occur as a result of more detailed plans being developed during the subdivision map review and approval process. A proposed adjustment to the boundary of a Neighborhood may be processed concurrently with a Tentative Map application for land within that Neighborhood.
- The anticipated acreage and location of the non-residential uses to be constructed as part of the Project, including Neighborhood Commercial uses, Parks, school, school site recreational area, detention basins and streets, may be modified by the Planning Director to accommodate adjustments that may occur as a result of more detailed plans being developed during the subdivision map review and approval process. A proposed adjustment to the acreage or location of a non-residential use may be processed concurrently with a Tentative Map application for land within that area.
- The anticipated number of dwelling units for each Neighborhood may be modified as the result of a residential unit transfer approved in accordance with Article 2, Section 2.4. of this Specific Plan. A proposed residential unit transfer may be processed concurrently with a Tentative Map application for land within that area.

An application for a Small Lot Tentative Map shall be processed in accordance with the Subdivision Map Act and the County's Subdivision Ordinance. The Planning Commission shall approve the application for a Small Lot Tentative Map for development of any portion of the Plan Area unless the Planning Commission makes written findings, supported by substantial evidence, regarding any one of the following:

- Any of the findings requiring denial under the Subdivision Map Act (Government Code Sections 66474, 66474.4 and 66474.6);
- The applicant failed to demonstrate that the infrastructure, services, facilities and amenities required to serve the land uses within the requested map will be completed prior to occupancy of those uses;
- The applicant failed to demonstrate that the requested map complies with the applicable zoning of the Specific Plan;
- The applicant failed to demonstrate that approval of the requested map will not result in new significant, unmitigated environmental impacts or a significant increase in previously identified impacts; or
- The applicant failed to demonstrate that approval of the requested map will not result in conditions that would jeopardize the public health, safety and general welfare.

In approving a Small Lot Tentative Map, the Planning Commission may impose any conditions of approval in accordance with applicable state and local law, this Specific Plan and the Development Agreement. A Small Lot Tentative Map (with "buildable" lots) can be processed concurrently with the Specific Plan.

A Small Lot Tentative Map application may be processed and considered concurrently with a Conditional Use Permit or Design Review application for the land that is the subject of the requested map.

8.1.6. Design Review

Prior to issuance of a building permit, all residential and commercial development within the Plan Area shall be reviewed by County staff for consistency with the Specific Plan Design Guidelines. This Design Review may occur concurrently with the processing of other application(s) such as a Tentative Map. The Planning Director shall approve an application for design review for development of a "permitted use", as defined by the respective Land Use Tables in Article 2, of any portion of the Plan Area unless the Planning

Director makes written findings, based on substantial evidence, regarding any one of the following:

- The applicant failed to demonstrate that the proposed development is in substantial compliance with all applicable aspects of the Specific Plan and is consistent with the applicable Design Guidelines as set forth in Article 7 of this Specific Plan; or
- The applicant failed to demonstrate that approval of the requested application will not result in any new, significant unmitigated environmental impacts or a significant increase in previously identified impacts.

If County staff deems a proposed project to be not consistent with the Guidelines, staff must make specific findings of inconsistency. Appeals shall be made to the Planning Commission.

8.1.7. Conditional Use Permits

In order to develop any uses listed as “conditionally permitted” as defined in the applicable Land Use Tables in Article 2 of the Specific Plan, the applicant shall submit an application for a Conditional Use Permit in accordance with the requirements set forth in County Code Chapter 25.43, as may be modified or supplemented by this Specific Plan. The Planning Commission shall approve an application for a Conditional Use Permit for development of any conditionally permitted uses in the Project unless the Planning Commission makes written findings, based on substantial evidence, regarding any one of the following:

- The applicant failed to demonstrate that the requested Conditional Use Permit complies with the applicable zoning of the Specific Plan;
- The applicant failed to demonstrate that the requested Conditional Use Permit is in substantial compliance with all applicable aspects of the Specific Plan, including without limitation, the applicable Design Guidelines as set forth in Article 7 of this Specific Plan;
- The applicant failed to demonstrate that approval of the requested Conditional Use Permit will not result in new significant, unmitigated environmental impacts or a

significant increase in previously identified impacts; or

- The applicant failed to demonstrate that approval of the requested Conditional Use Permit will not result in conditions that would jeopardize the public health, safety and general welfare.

8.1.8. Small Lot Final Maps

Following County approval of a Small Lot Tentative Map, applications for one or more final maps (for all or a portion of the Tentative Map area) shall be filed in accordance with the Subdivision Map Act and the County’s Subdivision Ordinance.

8.1.9. Minor Modifications

A subsequent entitlement (e.g., Tentative Map or Conditional Use Permit) may be found to be in substantial conformance with this Specific Plan even if said entitlement reflects certain changes to this Specific Plan provided that the Planning Director finds that said change constitutes a “minor modification.” For purposes of this Section 8.1.10., any change shall be deemed a minor modification unless the proposed change would: (1) modify any zoning regulation or standard; (2) modify the Figure 2-1 Land Use Map or Table 2-1 in a manner that is inconsistent with Article 2, Section 2.3. of this Specific Plan; (3) cause any other change to the Project that would result in a new significant adverse, unmitigated environmental impact or any significant increase in any previously-identified environmental impact pursuant to Public Resources Code section 21166; or (4) be inconsistent with the purpose and intent of the Specific Plan.

In the event and to the extent the Planning Director makes written findings, based on substantial evidence in the record, that the requested change constitutes a minor modification, the subsequent entitlement would not be deemed an amendment to the Specific Plan.

8.1.10. Specific Plan Amendment Process

A finding that a subsequent entitlement reflects a minor modification to the Specific Plan is distinct from a request to revise any aspect of the Specific Plan, which shall be construed as an amendment to the Specific Plan. A request for a Specific Plan

amendment shall be processed in accordance with California Government Code requirements for specific plans, and shall require approval by the County Board of Supervisors.

8.2. PHASING AND FINANCING PROJECT IMPROVEMENTS

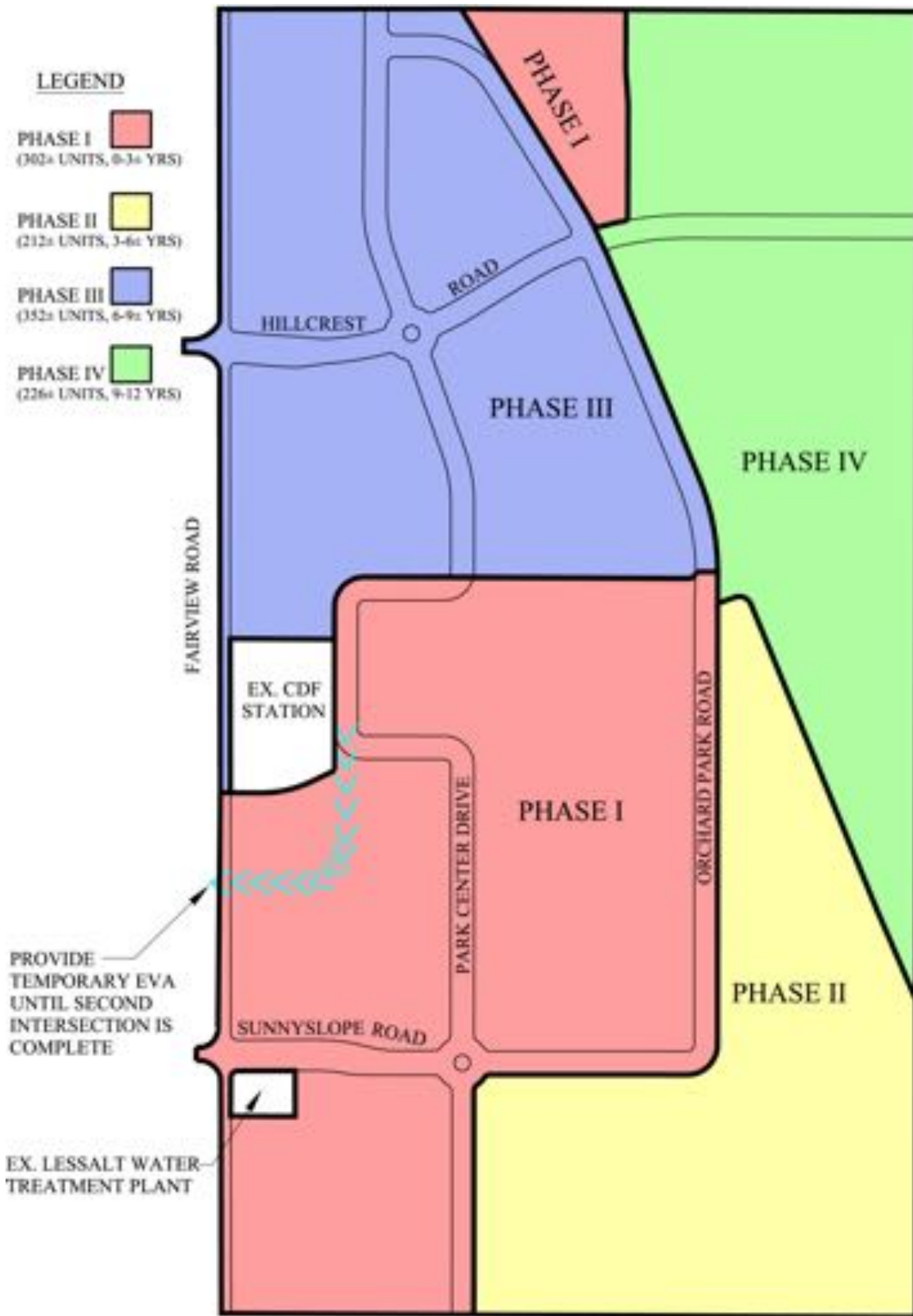
8.2.1. Project's Phasing Plan

The Project shall be built-out in 4 development phases, with anticipated build-out occurring over a period of approximately 10 to 12 years in response to market demands and according to an orderly extension of roadways, infrastructure, public services and utilities and provision of park and recreational facilities and other amenities.

The development phases shall occur sequentially (Phases I through IV), although portions of phases may occur concurrently. Development of each phase shall include all infrastructure, services, facilities and amenities, both public and private, needed to serve the uses and structures within that phase, which shall be completed in accordance with the provisions in this Specific Plan. It is anticipated that each of the 4 main phases may include sub-phases which may result in multiple Final Maps.

As part of the application of the Small Lot Final Subdivision Map (with "buildable" lots), the Developers shall prepare the Project's Master Phasing Plan, as it may be amended. All subsequent entitlements shall be in substantial conformance with the Project's Master Phasing Plan. The Conceptual Phasing Plan is intended to be refined and may be revised by the Developer from time to time throughout the development of the Plan Area. Revised phasing plans must demonstrate, to the satisfaction of the San Benito County Public Works Director, the provision of adequate infrastructure to support each phase in accordance with this Specific Plan.

FIGURE 8-1 CONCEPTUAL PHASING PLAN



The following is a description, by phase, of the anticipated development of various major infrastructure components, which may be refined over time.

Phase I

- Grade the Phase I portion of the Plan Area and use the area in the southeast corner of the Phase II site as a borrow/stockpile area.
- Construct the internal “backbone” roadway network complete with landscape improvements within the right-of-way including Park Center Drive, Orchard Park Road, and Sunnyslope Road. Construct the landscaping and improvement for the Community Park.
- Construct the sanitary sewer improvements as shown on Figure 8-3 Conceptual Wastewater Master Plan, making a temporary sewer connection to the existing main in the intersection of Fairview Road and Sunnyslope Road. Also construct the ultimate sewer improvements in Fairview Road from the intersection of Sunnyslope Road to the southern boundary of the existing Cal Fire property.
- Complete the storm drain improvements as shown on Figure 8-5 Conceptual Storm Drain Master Plan, including a detention facility south of the Cal Fire station that will connect to the existing 36 inch storm drain and a temporary detention facility north of the Cal Fire property on future Phase III. The eastern portion of the storm drains backbone improvements will temporarily outfall into the existing drainage course that flows north into a new detention facility that will be constructed along the middle of the northern project boundary.
- Extend the existing high pressure domestic water main in Fairview Road from approximately 3,000 feet south of the project, north to the southern property line of the existing Cal Fire property. The internal network of backbone water infrastructure will be completed as shown on Figure 8-2 Conceptual Water Master Plan. Construct a booster station adjacent to the existing low pressure domestic water tanks (Fairview Road tank) and pump it into the high pressure

domestic water zone distribution system within Phase I to provide redundancy in the high pressure zone.

- Construct the backbone recycled water mains as shown on Figure 8-4 Conceptual Recycled Water Master Plan. Connect the new recycled water main to the existing untreated C.V.P. water until recycled water is extended to the site by others in the future.
- Complete the landscaping and improvements for the Community Park, streetscape improvements for major roadways, and permanent detention areas prior to the occupancy of the last unit of Phase I.

Phase II

- Grade the southeast corner of the Plan Area using the Phase IV area as a borrow/stockpile area.
- Complete the internal roadway network and make connections to the backbone streets constructed as part of Phase I.
- Construct the internal “backbone” roadway network complete with landscape improvements within the right-of-way including Sunnyslope Road.
- Construct the internal sanitary sewer improvements needed for Phase II and make connections to the backbone sanitary sewer mains provided in Phase I.
- Construct the internal storm drain improvements needed for Phase II and make connections to the backbone storm drain mains provided in Phase I.
- Complete the internal domestic water improvements needed for Phase II and make connection to the backbone domestic water mains provided in Phase I.
- Complete the internal recycled water improvements needed for Phase II and make connection to the backbone recycled water mains provided in Phase I.

- Complete the landscape improvements for major roadways within Phase II.

Phase III

- Grade the northwest corner of the Plan Area using the Phase IV area as borrow/stockpile area.
- Improve Project frontage along Fairview Road from the northern Plan Area boundary to the southern boundary of the existing Cal Fire property. This will include roadway widening, median island, curb, gutter, sidewalk, and landscaping.
- Complete the intersection improvements and signal for the intersection of Hillcrest Road and Fairview Road prior to the occupancy of the first dwelling unit in Phase III.
- Construct the internal “backbone” roadway network complete with landscape improvements within the right-of-way including Park Center Drive, Orchard Park Road and Hillcrest Road.
- Construct the sanitary sewer improvements as shown on the Backbone Sanitary Sewer Exhibit, including completing the offsite connection of the sewer mains to the existing main in Hillcrest Road near its intersection with Beverly Drive, approximately 1,100 feet west of Fairview Drive. Abandon the temporary sewer connection at Fairview Road and Sunnyslope Road and permanently divert all sewer flows into the new sewer main in Fairview Road.
- Construct the storm drain improvements as shown on Figure 8-5 Conceptual Storm Drain Master Plan, including the detention facility and outfall at the northwest corner of the site and abandon the temporary detention facility north of the Cal Fire property that was constructed as part of Phase I. The eastern portion of the storm drain backbone improvements in Phase III will then be connected to the storm drain main provided in Phase I and will extend to the detention facility constructed during Phase I near the middle of the northern Plan Area boundary.

- Complete the internal domestic water improvements needed for Phase III and make connection to the backbone domestic water mains provided in Phase I.
- Complete the internal recycled water improvements needed for Phase III and make connection to the backbone recycled water mains provided in Phase I.
- Complete the landscape improvements for major roadways and detention facilities within Phase III.

Phase IV

- Construct the internal “backbone” roadway network complete with landscape improvements within the right-of-way including Hillcrest Road.
- Grade the northeast corner of the Plan Area.
- Complete the internal roadway network and make connections to the backbone streets constructed as part of Phase III.
- Construct the internal sanitary sewer improvements needed for Phase IV and make connections to the backbone sanitary sewer mains provided in Phase III.
- Construct the internal storm drain improvements needed for Phase IV and make connections to the backbone storm drain mains provided in Phase I.
- Complete the internal domestic water improvements needed for Phase IV and make connections to the backbone domestic water mains provided in Phase III.
- Complete the internal recycled water improvements needed for Phase IV and make connections to the backbone recycled water mains provided in Phase III.
- Complete the landscaping and improvements for the Linear Park, streetscape improvements for major roadways, and permanent detention areas prior to the completion of the Phase IV infrastructure.

8.2.2. Project Financing Plan

Obligation to Ensure Funding for All Project Infrastructure, Facilities, Services and Amenities

The Project shall be fiscally self-sufficient through the use of revenue sources including, without limitation, those described below.

In approving a Tentative Map for any portion of the Project, the applicant or responsible agency (as applicable) shall demonstrate the availability of adequate financing to ensure that all Project infrastructure, services, facilities and amenities needed to serve the uses and structures covered by the requested map will be completed prior to occupancy of any structure on any lot described in such map and will remain operational as needed throughout the life of the Project.

Sources of Revenue

It is anticipated that a significant portion of the initial Project improvements will be constructed with private funding. In addition, the following sources of revenue are anticipated to fund the construction and ongoing operation and maintenance of certain Project improvements:

- **Taxes:** property taxes (ad valorem), sales taxes.
- **Fees Imposed by the County:** development impact and processing fees, property transfer fees, utility fees, license and franchise fees.
- **Assessments and Special Taxes:** collected through several potential financing districts such as a Business Improvement District (BID), County Service Area (CSA), Community Facilities District (Mello Roos), or Geologic Hazard Abatement District (GHAD).
- **Homeowners Assessments:** collected through various individual Neighborhood homeowners associations.
- **Reimbursements:** collected through agreements for reimbursement from other property owners directly benefiting from infrastructure or improvements constructed by the Developer.

Construction of Backbone Improvements: In General

All backbone improvements, (specifically, sewer, water, utilities, storm drainage facilities, collector streets, Fairview Road improvements, Community Park, Linear Park, and Neighborhood Parks) shall be constructed with private financing or applicable Development Impact Fees (if any). The Developers intend to enter an internal, private cost sharing agreement that specifies, among other things, the terms of financing for the construction of improvements, establishes easements and rights-of-way for such improvements, and establishes the basis and terms for cost sharing and reimbursement among the owners.

Construction of In-Tract Improvements: In General

It is anticipated that portions of the Plan Area will be sold by one or more of the Property Owners to other developers for purposes of developing specific aspects of the Project (e.g., individual Neighborhoods, custom lots or the Neighborhood Commercial center). All public and private infrastructure, services, facilities and amenities needed to serve each Neighborhood (In-Tract Improvements) and the Neighborhood Commercial center shall be the responsibility of the Developer for that portion of the Plan Area as determined during the Tentative Map process, and it is anticipated that those will be constructed with private financing provided by each respective Developer; no Small Lot Final Subdivision Map (with “buildable” lots) shall be recorded for any portion of the Plan Area until the Developer of that portion of the Plan Area demonstrates fulfillment of its identified obligations with respect to In-Tract Improvements.

Operation and Maintenance of Project Roadways, Lighting, Landscaping, Drainage, Parks and Recreational Facilities and Other Project Services

Once the County has inspected and accepted the Project’s public backbone improvements and public In-Tract Improvements, the County would be responsible for operating and maintaining such improvements.

A financing district such as a Business Improvement District (BID), County Service Area (CSA), or Community Facilities District (Mello Roos) may be established as part of the Project. Once a financing district is established in accordance with the applicable law, the district would be authorized to impose assessments on Project residents only for the purpose of funding, operating and maintaining the following Project improvements: the public roadways; parks and recreational facilities; drainage facilities; street lighting and landscape, and other public facilities.

Street Frontage, Intersection and Other Roadway Improvements

Fairview Road

Responsibility

The Developer of any portion of the Plan Area that abuts Fairview Road shall be responsible for constructing its property frontage improvements to Fairview Road as specified further below and as determined during the Tentative Map process. The frontage improvements shall be constructed in accordance with the applicable provisions of this Specific Plan.

Phasing of Frontage Improvements

The required frontage improvements for Fairview Road shall be constructed concurrent with the development of each subdivision fronting on Fairview Road.

In order to provide complete road segments for public safety on Fairview Road, the County Director of Public Works shall determine the ultimate sequence and phasing of construction of additional lanes and other frontage improvements along Fairview Road adjacent to the Plan Area as part of the Tentative Map process. If the County determines that the widening and paving of Fairview Road is required before the adjacent areas have begun construction on any subdivision within the Neighborhood, the Developers shall be required to fund the cost of constructing the abutting travel lane and bicycle lane, and the curb, gutter and street lighting improvements subject to future reimbursement, as described below. Construction of the sidewalk, landscaping and wall may be deferred until construction of the first subdivision in the

adjacent Neighborhood commences. The cost of improvements for Fairview Road shall be borne by Developers; provided, however, that other benefiting Property Owners may be required to reimburse the Developers through a reimbursement agreement or other cost sharing arrangement.

Required Frontage Improvements

Required frontage improvements along Fairview Road may include travel lane(s), a bicycle lane, curb, gutter, sub-surface or surface drainage, sidewalk, trail, landscaping, street lighting and/or walls.

Intersection Improvements

When a Developer of any portion of the Plan Area constructs one of the two intersections along Fairview Road (Hillcrest Road or Sunnyslope Road), all improvements associated with that intersection (including turn lanes, sidewalks, street furniture, signage, and landscaping) shall be constructed. Improvements along Fairview Road may be phased with interim improvements as approved by the County Department of Public Works. This shall include interim tapers between the full street sections of Fairview Road at the intersection to the existing street section of Fairview Road to be improved by future phases.

If other developments not a part of Santana Ranch have already constructed the roadway (subject to reimbursement), any remaining improvements such as pavement widening, signing and striping, curb, gutter and sidewalk, streetlights, intersection improvements, and installation of landscaping shall be the responsibility of the Developer of that portion of the Plan Area.

The intersection of Sunnyslope Road and Fairview Road shall be constructed prior to occupancy of the first dwelling unit or Commercial building in Phase I. The intersection of Hillcrest Road and Fairview Road shall be constructed prior to the occupancy of the first dwelling unit in Phase III. These intersection signal improvements shall be funded by private funding by the obligated Developer.

Collector Streets

As part of the Tentative Map process for each Neighborhood or other portions of the Plan Area, each Developer shall be responsible for constructing the collector street system needed to provide access to the development being proposed under the Tentative Map being sought. It is anticipated that adjacent property owners will permit access to their property to the extent needed for the Developer to construct the required street improvements, and that the Developer will make such arrangements with the adjacent owners, as needed.

In order to ensure complete road segments for public safety on Park Center Drive, Hillcrest Road, Orchard Park Road, and Sunnyslope Road the County Director of Public Works shall determine the ultimate sequence and phasing of construction of these roads and may require construction of the full pavement section and frontage improvements on one side, including drainage, curb and gutter, which shall be constructed by the Developer (see Section 8.2.1. and Figure 8-1 Conceptual Phasing Plan) for construction sequence and phasing of Project collector roads.

Internal Residential Streets (In-Tract)

As part of the Tentative Map process for each Neighborhood and other portions of the Plan Area, each Developer shall be responsible for constructing the internal residential streets needed to provide access (both emergency and non-emergency) to the development proposed under the requested Tentative Map.

As a condition of Tentative Map approval for the area in which the proposed school would be located, the Developer shall be responsible for constructing the street fronting the school and all related streets improvements prior to completion of the construction of the school.

Right-of-Way Dedication

The dedication of Property for purposes of expanding Fairview Road shall be a condition of approval of the first Small Lot Tentative Map (with “buildable” lots). Actual right-of-way dedications

will occur with each Small Lot Final Map fronting on Fairview Road.

Off-site Circulation Improvements

Traffic Impact Fees

In accordance with the MMRP, this Specific Plan and the Development Agreement, the Developers shall be responsible for contributing funding in the form of Traffic Impact Fees (TIF) for the purpose of facilitating the construction of certain off-site circulation improvements to accommodate new development in the County, including the Project.

Priority of Improvements

The priority of improvements funded by the TIF from development of the Project and timing for construction shall be determined by the County in accordance with the County’s Traffic Mitigation Fee Update Study, as may be amended.

However, in the event the priority or timing of a specific traffic improvement that has been identified in the Project EIR and the MMRP as necessary to mitigate the Project’s individual or cumulative impacts would otherwise be delayed (due to a lack of available funding in the County’s TIF fund) beyond the point at which its need is triggered by the Project, one of the following shall occur:

- No further building permits shall be issued for that portion of the Project until construction of the needed improvement is completed; or
- The County approves an amendment to the Project’s conditions of approval and MMRP, after the required level of CEQA review is conducted, to modify the way in which the particular Project traffic impact at issue is mitigated; or
- The Developer constructs or funds the construction of the needed improvement, subject to future reimbursement by other benefited property owners based on a pro rata share.

Potable Water

Responsibility

The Developers shall construct the backbone infrastructure needed for the Project's potable water delivery system with private financing.

As part of the Tentative Map process for each Neighborhood or other portions of the Plan Area, each Developer shall be responsible for constructing the in-tract water delivery system infrastructure needed to deliver potable water to the development being proposed under the requested Tentative Map. Portions of the potable water system may be subject to reimbursement by other benefiting Property Owners.

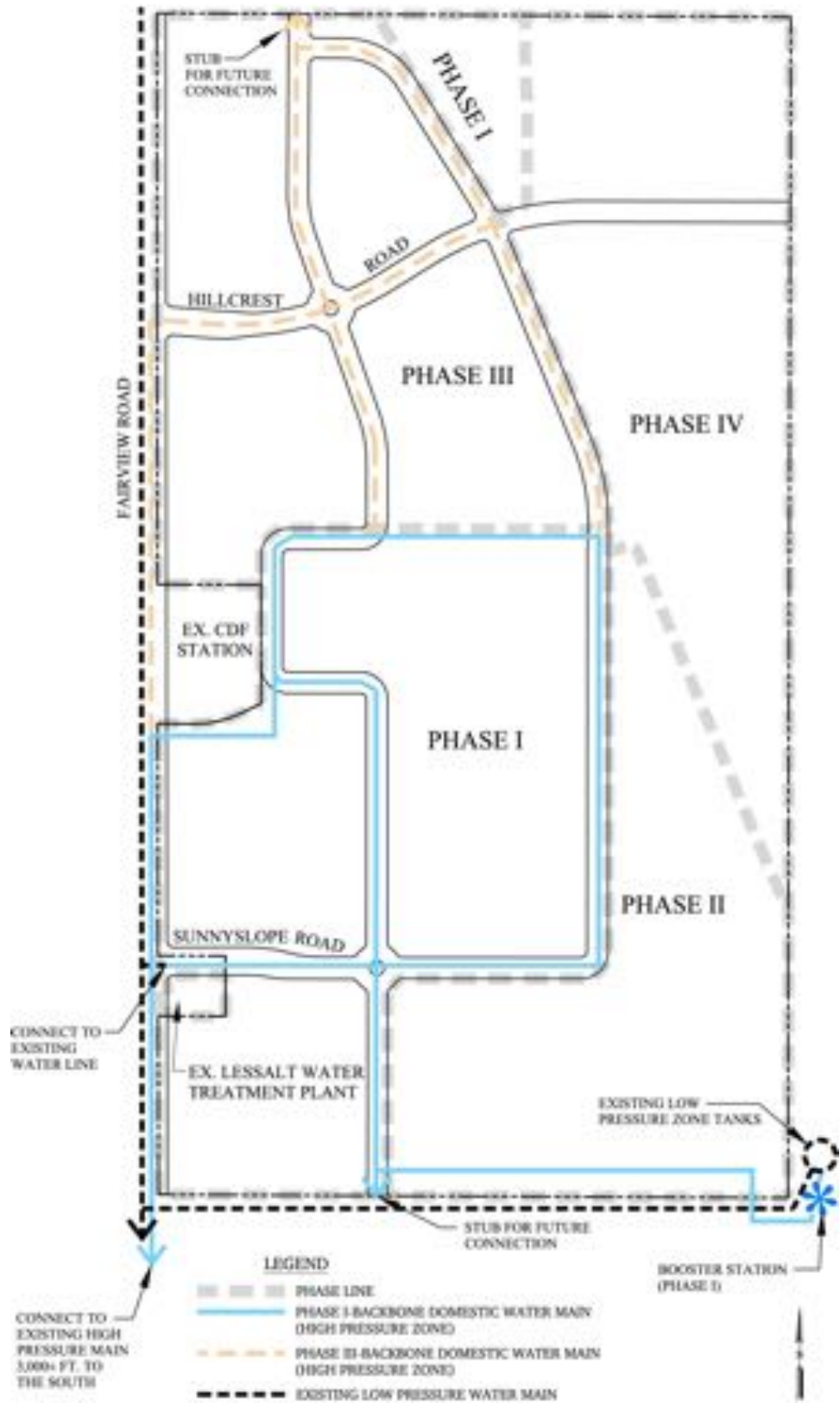
The potable water delivery system shall be offered for dedication to Sunnyslope County Water District (SSCWD). Once this offer of dedication is accepted, SSCWD would operate and maintain the water system. All water system infrastructure improvements shall be reviewed by SSCWD during the Tentative Map review process to ensure consistency with the Specific Plan and to ensure that the design and construction meet the SSCWD and County standards.

Potable Water Master Plan

As part of the application of the first Small Lot Final Subdivision Map (with "buildable" lots), the Property Owners shall prepare a Potable Water Master Plan to the satisfaction of the County Director of Public Works and SSCWD. The Potable Water Master Plan shall identify the size, location and timing of all major water lines and any pumps proposed, and shall be accompanied by all supporting technical information and calculations to demonstrate that implementation of the Plan shall satisfy all applicable regulations, standards and guidelines, including without limitation, those set forth in Specific Plan, Article 6, Section 6.7. and Figure 8-2 of this Article.

Development of the Project shall be in substantial compliance with the Potable Water Master Plan as may be amended from time to time with approval from the County, SSCWD and the Property Owners.

FIGURE 8-2 CONCEPTUAL WATER MASTER PLAN



Water Storage and Off-Site Delivery System

Prior to the recordation of the first Small Lot Final Subdivision Map (with “buildable” lots), the Developers shall enter into an agreement with Sunnyslope County Water District to fund the Project’s fair, pro rata share to support District infrastructure (including off-site storage, wells, and backbone pipelines), which will be used to deliver sufficient water to serve the Plan Area. The construction of necessary improvements may occur over time as required to serve the Project in accordance with this Specific Plan, the MMRP and the Development Agreement. As a condition of approval of the first Small Lot Final Tentative Subdivision Map (with “buildable” lots), the Developers shall demonstrate availability of an adequate water supply in accordance with state law.

Wastewater Collection and Treatment

It is anticipated that wastewater collection and treatment will be provided to the Project from the capacity available from the City of Hollister’s Domestic Wastewater Treatment Plant; however, in the event this capacity is not available, a new treatment plant to serve the Project shall be constructed on a site immediately adjacent to the Plan Area.

As part of the application for the first Small Lot Final Subdivision map (with “buildable” lots), the Developers shall determine the method by which wastewater collection and treatment will be provided and shall demonstrate timely availability of the needed facilities including any required approval from other agencies such as LAFCO. No building permit shall be issued for any use in the Plan Area until the necessary treatment connections are made or, in the alternative, the new treatment plant is constructed and available.

Responsibility

The Developers shall construct the backbone infrastructure (including, without limitation, collection lines, possible treatment plant and recycled water distribution system) needed for the Project’s chosen wastewater collection and treatment system with private financing.

As part of the Tentative Map process for each Neighborhood or other portions of the Plan Area, each Developer shall be responsible for constructing the in-tract wastewater collection and treatment system infrastructure needed to serve the development being proposed under the requested Tentative Map.

In the event that the City of Hollister will provide capacity to the Project as anticipated, the wastewater collection system shall be offered for dedication to the City. Once this offer of dedication is accepted, the agency shall operate and maintain the system. All system infrastructure improvements shall be reviewed by the City and any other applicable agency during the Tentative Map review process to ensure consistency with the Specific Plan and to ensure that the design and construction meet all applicable standards.

In the event the Project will be served by the new treatment plant, the plant and related distribution system shall be offered for dedication to the County. Once this offer of dedication is accepted, the County shall operate and maintain the system. All system infrastructure improvements shall be reviewed by the County during the Tentative Map review process to ensure consistency with the Specific Plan and to ensure that the design and construction meet the County standards.

Wastewater Master Plan

As part of the application for the first Small Lot Final Subdivision Map (with “buildable” lots), the Developers shall prepare a Wastewater Master Plan to the satisfaction of the County Director of Public Works. The Wastewater Master Plan shall identify the size, location and timing of all major sewage facilities proposed, and shall be accompanied by all supporting technical information and calculations to demonstrate that implementation of the Plan shall satisfy all applicable regulations, standards and guidelines, including without limitation, those set forth in Specific Plan Section 8.2.2.

Development of the Project shall be in substantial compliance with the Wastewater Master Plan as may be amended from time to time with approval from the County and the Developers.

Phasing

In the event the Project will be provided with capacity from the City of Hollister's Domestic Wastewater Treatment Plant as anticipated, then the wastewater collection and treatment system may be constructed in phases corresponding to the need generated by development of each Neighborhood or other portion of the Plan Area in accordance with recorded Final Maps.

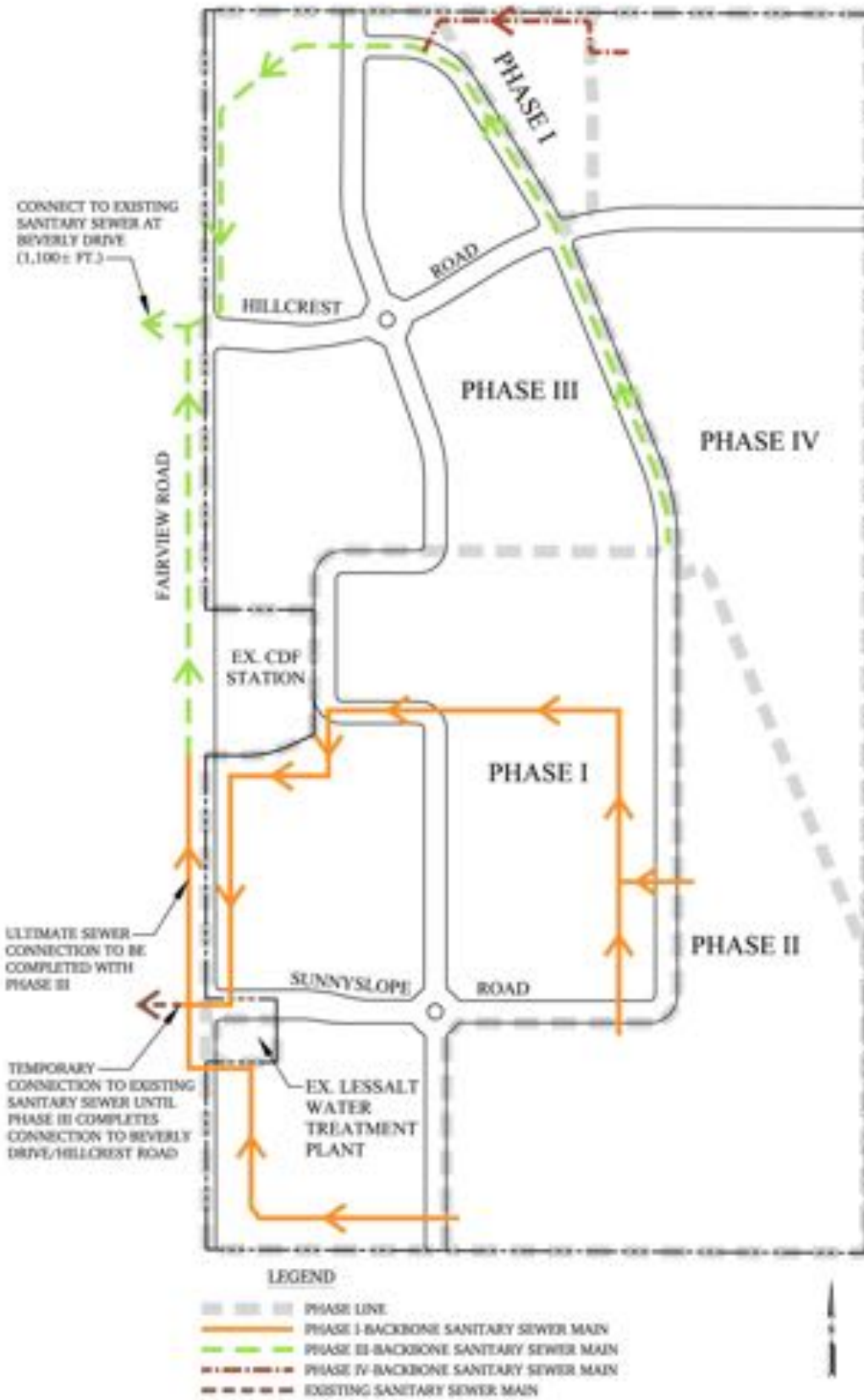
However, in the event the Project will be served by the Project wastewater treatment plant, no Certificate of Occupancy (Building Final) shall be issued for any structures requiring sanitary sewer in the Plan Area until the new treatment plant is operational.

The collection system may be limited to only those portions required to serve the Neighborhood under consideration. This may require that the collection system be constructed through one or more other Neighborhoods before the need for infrastructure in that area. It is anticipated that adjacent property owners will permit access to their property to the extent needed for the Developers to construct the required improvements, and then the Developers will make the necessary arrangements with these adjacent owners.

Financing

Construction of the Project's chosen wastewater collection and treatment system shall be privately financed. Funding for ongoing operation and maintenance of this system shall be covered by assessments provided by the Project's County Service Area or other appropriate financing district.

FIGURE 8-3 CONCEPTUAL WASTEWATER MASTER PLAN



Recycled Water

The in-tract infrastructure shall be installed with each phase of the development and points of future connection will be provided along Fairview Road for use when the City's recycled water infrastructure is extended to the site. Until recycled water is extended to the Plan Area the Project intends to connect the in-tract recycled water system to the existing untreated C.V.P. (Blue Valve) water in Fairview Road.

In the event the Project is served by the new on-site plant, recycled water will be available from the planned on-site wastewater treatment plant. In the initial development of the wastewater plant, the treated effluent will be disposed in a subsurface leach field requiring only secondary treatment. As use of the plant increases and produces greater volumes of treated wastewater the treatment plant will be upgraded to provide tertiary treatment (or equivalent as determined by the Regional Water Quality Control Board).

Regardless of its source, the recycled wastewater will be used for irrigating common area landscaping such as the Parks and the corridor along Park Center Drive and Orchard Park Road.

Responsibility

The Developers shall construct the backbone infrastructure needed for the Project's chosen recycled water system with private financing.

As part of the Tentative Map process for each Neighborhood or other portions of the Plan Area, each Developer shall be responsible for constructing the in-tract recycled water system infrastructure needed to serve the development being proposed under the requested Tentative Map.

The recycled water system shall be offered for dedication to San Benito County Water District, SSCWD and/or the City, as appropriate. Once this offer is accepted, maintenance of the system will be the responsibility of the County or City as applicable. All system infrastructure improvements shall be reviewed by the County during the Tentative Map review process to ensure consistency with the Specific Plan and to ensure that the design and construction meet the County or City standards as applicable.

Recycled Water Master Plan

As part of the application of the first Small Lot Final Subdivision Map (with "buildable" lots), the Property Owners shall prepare a Recycled Water Master Plan to the satisfaction of the County Director of Public Works and SSCWD. The Recycled Water Master Plan shall identify the size, location and timing of all major recycled water lines and any pumps proposed, and shall be accompanied by all supporting technical information and calculations to demonstrate that implementation of the Plan shall satisfy all applicable regulations, standards and guidelines.

Development of the Project shall be in substantial compliance with the Recycled Water Master Plan as may be amended from time to time with approval from the County and the Developers.

Phasing

In the event the Project will be provided with wastewater capacity from the City of Hollister's Domestic Wastewater Treatment Plant as anticipated, then the recycled water system may be constructed in phases corresponding to the need generated by development of each Neighborhood or other portion of the Plan Area in accordance with recorded Final Maps.

However, in the event the Project will be served by its own on-site wastewater treatment plant, no Certificate of Occupancy (Building Final) shall be issued for any use in the Plan Area until the new treatment plant is operational.

The distribution system may be limited to only those portions required to serve the Neighborhood under consideration. This may require that the distribution system be constructed through one or more other Neighborhoods before the need for infrastructure in that area. It is anticipated that adjacent property owners will permit access to their property to the extent needed for the Developers to construct the required improvements, and that the Developers will make the necessary arrangements with those adjacent owners.

Financing

Construction of the Project's chosen recycled water distribution system shall be privately financed. Funding for ongoing operation and maintenance of this system shall be covered by assessments collected through one of several potential financing districts such as a Business Improvement District, County Service Area, Community Facilities District (Mello Roos), the City or other appropriate financing district.

Storm Drainage

Storm Drainage and detention facilities shall be designed and constructed to accommodate the full build-out of the Project.

Responsibility/Phasing

The Developers shall construct the backbone infrastructure needed for the Project's storm drainage system with private financing.

As part of the Tentative Map process for each Neighborhood or other portions of the Plan Area, each Developer shall be responsible for constructing the in-tract storm drainage system infrastructure needed to serve the development being proposed under the requested Tentative Map.

The storm drainage system shall be offered for dedication. Once this offer is accepted, maintenance of the system will be the responsibility of the County. All system infrastructure improvements shall be reviewed by the County during the Tentative Map review process to ensure consistency with the Specific Plan and to ensure that the design and construction meet the County standards.

Storm Drainage Master Plan

As part of the application of the first Small Lot Final Subdivision Map (with "buildable" lots), the Property Owners shall prepare a Storm Drainage Master Plan to the satisfaction of the County Director of Public Works. The Storm Drainage Master Plan shall identify the size, location and timing of all major drainage facilities proposed for the Project relative to drainage impacts, and shall be accompanied by all supporting technical information and calculations to demonstrate that implementation of the Plan shall satisfy all applicable regulations, standards and guidelines, including all of the following:

- The storm system shall be designed for a 100 year storm event.
- The outflow rate from each detention basin shall be designed to not be more than the rate of flow in a 10 year storm event in the predevelopment condition, a lower rate of flow than would occur in a 100 year storm in the predevelopment condition.

- The Developers may contour grade the entire Plan Area in accordance with the Master Grading Plan to achieve drainage and the efficient construction of water, sewer and underground utilities.

Development of the Project shall be in substantial compliance with the Storm Drainage Master Plan as may be amended from time to time with approval from the County and the Developers.

Other Agency Approval

As a condition of approval of the first Small Lot Tentative Map (with "buildable" lots) for the Project, the Developer shall obtain, at its expense, all necessary permits and agreements as required by other agencies having jurisdiction over drainage, water quality or wetlands issues including, but not limited to, the Regional Water Quality Control Board (RWQCB), the U.S. Army Corps of Engineers and the California Department of Fish and Game.

In addition, the Developers shall prepare and implement a Storm Water Pollution Prevention Plan (SWPPP), and shall construct and maintain Best Management Practices (BMPs) as required by San Benito County. The Developers shall obtain a permit from San Benito County for the General Construction Storm Water Compliance Program, as required by their Stormwater Management Program, prior to the start of any construction, including grading.

Storm Drains

The Developers shall construct storm drain mains and laterals in accordance with the Storm Drainage Master Plan and with the County's then current improvements standards and shall provide laterals to serve all Neighborhoods and other portions of the Plan Area, including, but not limited to, Commercial, multi-family, school and Park sites. Storm drain laterals shall be constructed to the property line concurrently with the construction of connecting open channels or storm drain mains.

Detention Basins

The Developers shall construct the required detention basins in accordance with the Storm Drainage Master Plan and with the County's then-current design standards. Detention basins shall be improved for the purpose of providing recreational uses where feasible. The detention basin in each phase shown in Article 2, Figure 2-1 Land Use Map, and the associated drainage facilities shall be constructed by the Developers when the affected phase begins development.

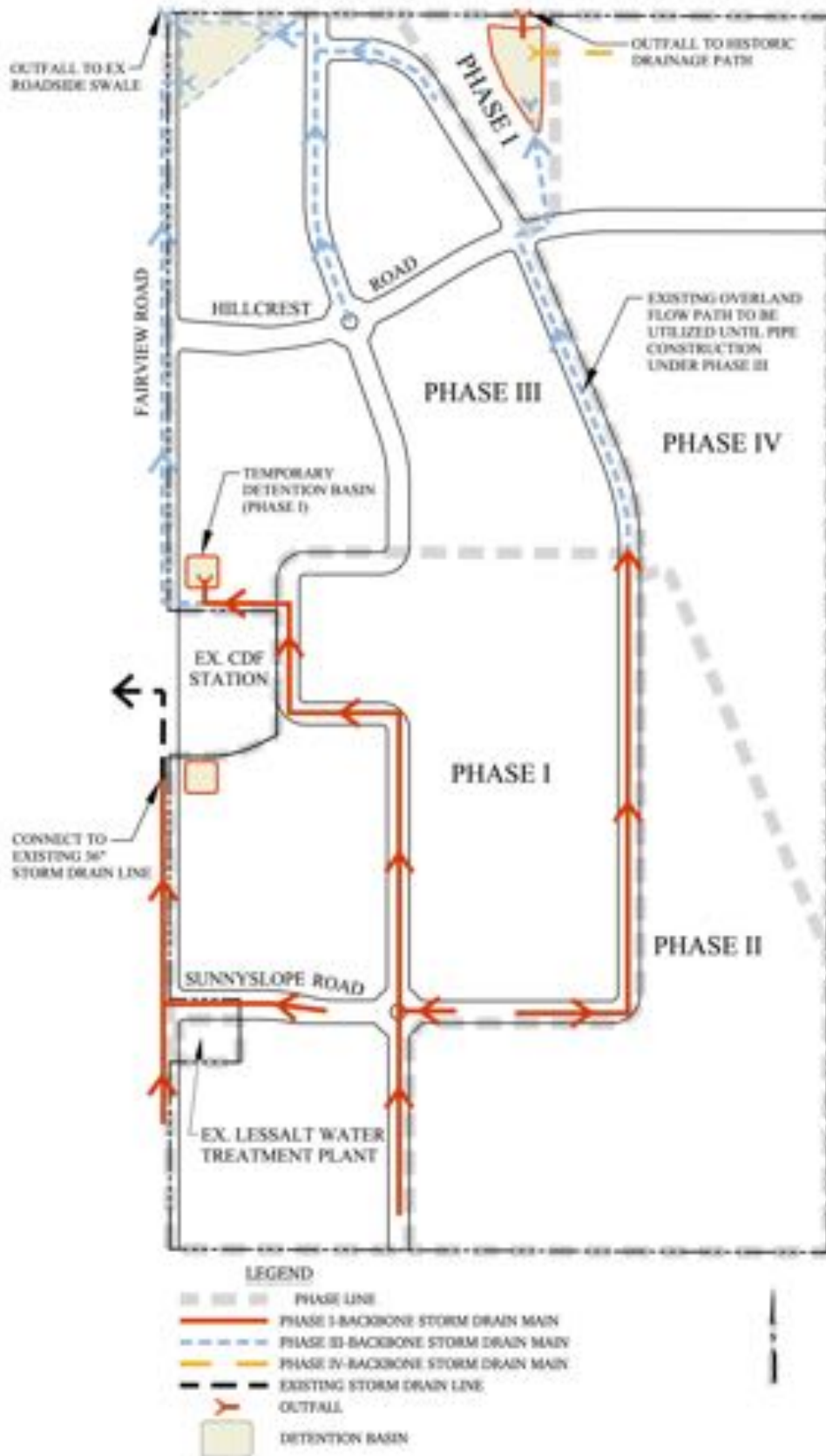
Financing

Construction of the Project's storm drainage system shall be privately financed. Funding for ongoing operation and maintenance of this system shall be covered by assessments collected through one of several potential financing districts such as a Business Improvement District, County Service Area, Community Facilities District (Mello Roos), or other appropriate financing district.

Storm Drainage Fees

Development of the Project shall be subject to payment of the then current fee for regional drainage improvements in the Santa Ana basin.

FIGURE 8-5 CONCEPTUAL STORM DRAIN MASTER PLAN



School Site Acquisition

The Property Owners and the Hollister School District have an option to purchase agreement related to the District's acquisition of the 8 acre school site identified in the Specific Plan; the option to acquire the site shall be subject to County approval of the Project. It is the Property Owners intention to sell the school site to the school district for a price less than full market value and under terms that will make the site available to the district when the need for the facilities occurs. As a condition of approval of the first Small Lot Tentative Map (with "buildable" lots) covering the school site, the Developer shall be responsible for constructing all needed utility and road infrastructure to serve the school site prior to the completion of the school construction.

Financing

The acquisition costs of the school site and the construction costs of the school facilities shall be the responsibility of the School District. Development of the Project shall be subject to the applicable school mitigation fees imposed under state law.

Parks

Responsibility

The Project's Park and recreational system shall be offered to the County for dedication. Once this offer is accepted, maintenance of the system will be the responsibility of the County. All system infrastructure improvements shall be reviewed by the County during the Tentative Map review process to ensure consistency with the Specific Plan and to ensure that the design and construction meet the County standards.

Park Improvements and Dedication

The Developers shall construct the 18.2 acres of formal park facilities described in Article 2, Section 2.6. The final design of the park and recreational facilities shall be subject to approval by the County, including the County Parks Commission.

With respect to the other park and recreational facilities described in the Specific Plan (i.e., landscaped areas, private recreational amenities, in-tract pedestrian and bikeway systems, in-tract landscaping, detention basins) in addition to the 18.2 acres of formal parks, these facilities shall be constructed to benefit the surrounding residential development.

Phasing

The 18.2 acres of formal park facilities shall be constructed by the Developers. Any recreational facilities that occur in connection with detention basins shall be constructed at the same time the basins themselves are constructed.

The Community Park, including all improvements, shall be constructed no later than the occupancy of the 300th dwelling unit.

The Linear Park, including all improvements, shall be constructed prior to the completion of Phase IV infrastructure.

The timing for construction of the other park and recreational facilities in addition to the 18.2 acres of formal parks shall be as follows. All additional landscaped areas, private recreational amenities, in-tract pedestrian and bikeway systems, and in-tract landscaping for each Neighborhood that is approved in connection with a Tentative Map shall be constructed before issuance of the building permit which would result in more than 50 percent of all residential dwelling units within that Neighborhood. The intent is to ensure that these additional facilities are available in each Neighborhood at or before more than 50 percent of the dwelling units in that Neighborhood are constructed and occupied.

Park and Recreational Master Plan

As part of the application of the first Small Lot Final Subdivision Map (with "buildable" lots), the Property Owners shall prepare a park and Recreational Master Plan to the satisfaction of the County Director of Public Works. The Park and Recreational Master Plan shall identify the size, location and timing of all major Park and recreational facilities proposed for the Project, and shall be accompanied by all supporting technical information and calculations to demonstrate that

implementation of the Plan shall satisfy all applicable regulations, standards and guidelines. Development of the Project shall be in substantial compliance with the Park and Recreational Master Plan as may be amended from time to time with approval from the County and the Developers.

Rough Grading

The Developers shall provide rough grading for park sites adjacent to residential subdivisions. The park sites shall be graded concurrent with grading of the adjacent residential subdivisions.

Park Site and Recreational Facility Improvements

The Developers shall provide finish grading, turf, trees, irrigation frontage improvements and recreation facilities as indicated in Article 6, Section 6.5. The Community Park site and other recreational facility improvements shall be completed in accordance with all applicable aspects of the Specific Plan.

Financing

Construction of the Project's parks and recreational system shall be privately financed. It is anticipated that funding for ongoing operation and maintenance of this system will be covered by assessments collected through one of several potential financing districts such as a Business Improvement District, County Service Area, Community Facilities District (Mello Roos), or other appropriate financing district.

Payment of Park Fees and Park Fee Credit

The Developers shall, at the time of recordation of the Small Lot Final Map (with "buildable" lots) for each subdivision, pay a park dedication fee for residential structures within that subdivision in accordance with applicable local and state law, this Specific Plan and the DA, or alternatively provide park land and improvements in lieu of park fees.

Landscape

Responsibility

All lands fronting on Fairview Road, Sunnyslope Road, Hillcrest Road and Orchard Park Road shall provide landscaping consistent with the landscape standards in Article 7, Section 7.2. and the Master Landscape Plan.

Landscape Master Plan

As part of the application of the each Small Lot Tentative Map (with "buildable" lots), the Property Owners shall prepare a Landscape Master Plan to the satisfaction of the County Director of Public Works. The Landscape Master Plan shall identify the size, species of primary and secondary street trees, shrubs and ground cover to be used, location and timing of all landscape components proposed for the Project, and shall be accompanied by all supporting technical information and calculations to demonstrate that implementation of the Plan shall satisfy all applicable regulations, standards and guidelines.

Development of the Project shall be in substantial compliance with the Landscape Master Plan as may be amended from time to time with approval from the County and the Developers.

Small Builder Program

The Specific Plan includes this program to promote the participation of small local builders in the development of the Plan Area. The essence of the program is that each Neighborhood shall designate a portion of the residential lots for sale to local builders as defined in this section.

Residential Lots Available for Small Builders

A total of 10 percent of the R1-SR residential lots in the Plan Area shall be made available for purchase by small builders with primary place of business in San Benito County. For the purposes of this condition, "small builders" means a home builder that has not produced more than ten dwelling units in San Benito County in any year within the previous 3 years.

Market Rate Sales

Residential lots reserved for small builders shall be made available at the market rate for comparable lots. Lots shall be reserved for small builders for a period of 9 months from the date first placed on the market after the Final Map is recorded. If a lot is not purchased by a qualified small builder in that period, the Developer may sell the lot to another buyer, or construct a home on the lot with no further obligation to sell that lot to a small builder. Advertisement of the sale of these lots shall be noticed in a paper of local, general circulation in accordance with guidelines developed by the Planning Department.

Designation of Lots for Small Builders on the Tentative Subdivision Map

The Developer may allocate more than 10 percent of the residential lots on any subdivision map for small builders. Consequently, one or more subdivisions may have less than 10 percent, or no lots, allocated to small builders. If the Developer opts to have less than 10 percent of the lots in any subdivision allocated to small builders, the Developer shall identify the other subdivision(s) that will be required to receive the small builder lots and must commit to allocating those small builder lots in the subsequent subdivision. If the R1-SR Neighborhoods are fully developed to 774 residential units, a total of 77 lots shall be available under the small builder program. The intent is to provide 10 percent of all R1-SR lots for small builders and the total number of lots available will be proportional to any reduction of residential units.

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